



**CITY OF ELK GROVE
CITY COUNCIL STAFF REPORT**

AGENDA TITLE: A Public Hearing to consider a Capital Improvement Program Design Review for the Elk Grove Library Relocation Project (WFC046) (CEQA Exempt)

MEETING DATE: October 25, 2023

PREPARED BY: Christopher Jordan, AICP, Director of Strategic Planning and Innovation

DEPARTMENT HEAD: Jason Behrmann, City Manager

RECOMMENDED ACTION:

Staff recommends that the City Council conduct a public hearing to receive information from staff and comments from the public and adopt a resolution:

1. Finding that the Elk Grove Library Relocation Project (WFC046) is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of Title 14 of the California Code of Regulations (State CEQA Guidelines); and
2. Approving a Capital Improvement Program Design Review for the Project, based on the findings and subject to the conditions of approval contained in the draft resolution.

PROJECT INFORMATION:

Location: 9260 Elk Grove Boulevard (APN 134-0050-001)
 Applicant: City of Elk Grove
 Property Owner: City of Elk Grove

PROJECT DESCRIPTION:

The proposed Elk Grove Library Relocation Project (WFC046) Project (“Project”) involves the remodeling of an existing 18,147 square-foot retail building for occupancy by the Elk Grove Library. Upon completion of the proposed improvements, the existing library at 8900 Elk Grove Boulevard would relocate operations to the Project site. The proposed renovations include adding various doors and windows to the exterior of the building, repainting the structure, and various improvements to the Project site, including patio spaces, electric vehicle charging infrastructure, and a shed for storing a Library of Things.

PROJECT SETTING:

This Project site is located at the southwest corner of Elk Grove Boulevard and Waterman Road. The site is currently developed with an 18,147 square-foot building, comprised of 17,377 square feet of ground floor building and 770 square feet of mezzanine for storage and building mechanical systems. The site is located within the Old Town Special Planning Area (OTSPA) and is designated Commercial.

Figure 1 shows the location of the Project.

Figure 1: Location Map



Figure 2: Existing Site Photos



Exterior, Facing Southeast



Interior Condition

Table 1 - Adjacent Land Designations and Uses

	Existing Uses	General Plan	Zoning
Project Site	Vacant retail building	Community Commercial	OTSPA (Commercial)
North	Retail	Community Commercial	OTSPA (Commercial)
South	Residential	LDR	RD-5
West	Vacant	Community Commercial	OTSPA (Commercial)
East	Retail	Community Commercial	Limited Commercial (LC)

PLANNING COMMISSION REVIEW:

The Planning Commission reviewed the Project and received public comment on September 25, 2023. During their deliberations, the Commission had questions regarding the Library of Things and the extent of the planned improvements around the exterior of the building. The Commission requested that the Project be modified to increase the amount of bicycle parking and that speed control device(s) be added to the parking lot to discourage speeding and cut-through traffic. After the discussion, the Commission voted 3-0 (Commissioners Poole and Singha absent) to recommend approval to the City Council.

BACKGROUND INFORMATION:

Library services in the City (and broader Sacramento County) are provided by the Sacramento Public Library Authority (SPL), a Joint Powers Authority (JPA). Under the terms of the JPA Agreement, each local agency is responsible for providing the physical space necessary for public libraries within its jurisdiction. SPL then occupies and operates library services. City of Elk Grove (City) residents are currently served by two libraries: the Elk Grove Branch in Old Town Elk Grove and the Franklin Branch, which is co-located with Franklin High School.

In 2018, the City completed a Library and Cultural Arts Center Study (Study), which identified the City's long-term needs for library and cultural arts facilities. The Study identified that current library facilities are undersized for the current population and that the Old Town and Franklin branches are not well configured and have poor operational characteristics. Specifically, the current Elk Grove Library building is situated at the corner of Elk Grove Boulevard and Elk Grove-Florin Road and was purchased by the City in 2006. The two-story building is 13,875 square feet, situated on a 0.88-acre parcel, with 45 parking spaces. SPL operates and maintains the premises, while the City is responsible for the capital improvements, such as building structure, roof, elevators, and HVAC. Over time, customer feedback regarding the location, size, and accessibility of the facility has been less than desirable, as have the high maintenance costs incurred by the City.

To address these issues, the Study recommended that:

- A new Destination Library be constructed at District 56.
- The Elk Grove/Old Town Library be relocated to a new building.
- The Franklin branch be re-purposed.

Shortly after completion of the Study, the property at 9260 Elk Grove Boulevard was listed for sale (the Project site). At the time, the building was occupied by a Rite Aid retail store. However, in January 2019, Rite Aid closed this location and liquidated all inventory. The City identified the opportunity to utilize the building for a relocated Elk Grove Library and began the process of purchasing it. In January 2021, the City Council authorized the purchase.

The Project site was initially developed in 2009 with Rite Aid as the intended tenant. Approvals for the building design and development were provided by the City Council in [December 2007](#) upon appeal by the applicant. The project was the subject of extensive controversy and requirements for reworking of the proposal for consistency with the OTSPA regulations.

ANALYSIS/DISCUSSION:

The proposed Project has been reviewed in accordance with the City's General Plan and the development standards of Title 23 of the Elk Grove Municipal Code (hereinafter the Zoning Code), including the OTSPA.

General Plan

The Project is consistent with the objectives of the General Plan, which designates this site as commercial. The Project complies with Land Use Policy LU-6-1, which provides for maintaining and improving the aesthetic quality and architectural diversity of the Old Town historical district. As further described below, the Project is consistent with the land use standards of the OTSPA and the development standards of the Zoning Code and the OTSPA relative to setbacks, height, mass, and overall building form.

Zoning

Approval Authority

The OTSPA requires the approval of a Type 1 Design Review for the proposed improvements. A Type 1 Design Review is usually the purview of the Development Services Director; however, Section 23.16.080 of the Zoning Code provides that a project under the City's Capital Improvement Program (CIP) requires a CIP Design Review. The approving authority for a CIP Design Review is the City Council, upon recommendation of the Planning Commission. Generally, where there is ambiguity in a Special Planning Area, where the Zoning Code provides for a more restrictive standard or process, or other conflicts arise, the more restrictive of the two will apply; in this case, the Zoning Code's CIP Design Review process is more restrictive and applies to this Project.

Use Allowed

No use permit is required for the proposed Project, and it is allowed as a permitted use by right. Section III of the OTSPA provides that “Commercial-Cultural” uses are permitted by right in the Commercial subzone. The Commercial-Cultural listing includes “art galleries and museums” but does not specifically list libraries. Footnote 8 of Table 2 of the OTSPA provides a process for determining if a proposed use is “sufficiently similar to a listed use such that the use may be processed and approved as provided” in the OTSPA. The Development Services Director has determined that a library is substantially similar to an art gallery and museum in that a library provides a cultural amenity for the community (**Attachment 2**). The characteristics of the use are of equivalent intensity, and it is consistent with the intent of the OTSPA. Further, libraries are allowed by right in the City’s commercial zoning districts (e.g., LC, GC, SC), providing a reference point when considering other uses that may be allowed in the OTSPA.

Building Revisions

The proposed Project will utilize the majority of the existing improvements, which were previously approved for the Rite Aid facility by the City under the OTSPA. Targeted modifications are proposed to convert the building and site from a strictly retail building into a more community-serving facility.

These changes include the following and are noted in **Figure 3**:

- Replacement of the existing display windows with clear windows providing views into the building. These windows were originally intended to provide a visual break in the building’s architecture but did not provide a line-of-sight into the building. Rather, they were used as display cases for historic photos of Elk Grove or other imagery. These display windows would be replaced with actual windows into the library, as applicable and aligning with the building floor plan shown in **Figure 4**.
- Addition of doors and windows for additional access and visibility into the structure. This would include staff entry into offices, material handling spaces, and entry into the community room and adjoining spaces.
- Creation of a new patio space immediately outside the community room (the Outdoor Meeting Room Patio). This will create a “pre-function” space for people to gather before an event. This could be used for event check-in, staging refreshments, or other activities. The patio will feature some landscaping along with a seat wall. No amplified sound is planned in this area.

- Addition of an after-hours book locker. This would be placed within the outdoor meeting room patio and include a canopy structure to provide protection from the weather.
- Placement of additional bike racks at the main entrance.
- Addition of a flagpole outside the main entrance.
- Replacement of the fountain structure at the corner of Waterman Road and Elk Grove Boulevard with a focal feature (potentially public art). The exact design of this will be determined at a later date.
- Creation of a patio space outside the northeast corner of the building as part of the children's area of the library. This will involve some replacement and/or expansion of the existing concrete patio and installing new fencing around the patio to secure and screen it from the road.
- Addition of an outdoor staff break area along Waterman Road.
- Addition of a [Library of Things](#) along the south property line. This structure, which would be a shed, will store various equipment that could be checked out from the library. Examples include a lawn mower and other gardening tools, power tools, kitchen equipment, musical instruments, sewing machines, and entertainment equipment.
- Addition of a parking space for SPL's Book Mobile. After relocation, the Elk Grove branch will be a host location for a bookmobile, expanding its role within the overall system.
- Addition of electric vehicle (EV) charging equipment in the parking lot. The site would be improved with 10 EV stalls on opening day, with the opportunity to expand with an additional 12 stalls (22 stalls in total) as demand increases.
- Cleanup and improvement to the landscaping throughout, including completing maintenance and preventative pruning to the existing trees.
- Repainting the building (see **Figure 5** for color scheme). The proposed colors are similar to the existing color family but will provide an overall lighter appearance.
- Replace the roofing along the colonnade shed roofs on the north and west elevations. The existing material is a composition material, which is not holding up well under the large oak along Elk Grove Boulevard. The replacement will be a standing seam metal roof with a similar color to the existing one. This will hold up better to the elements.

Figure 4: Proposed Building Floor Plan (Illustrative Version)

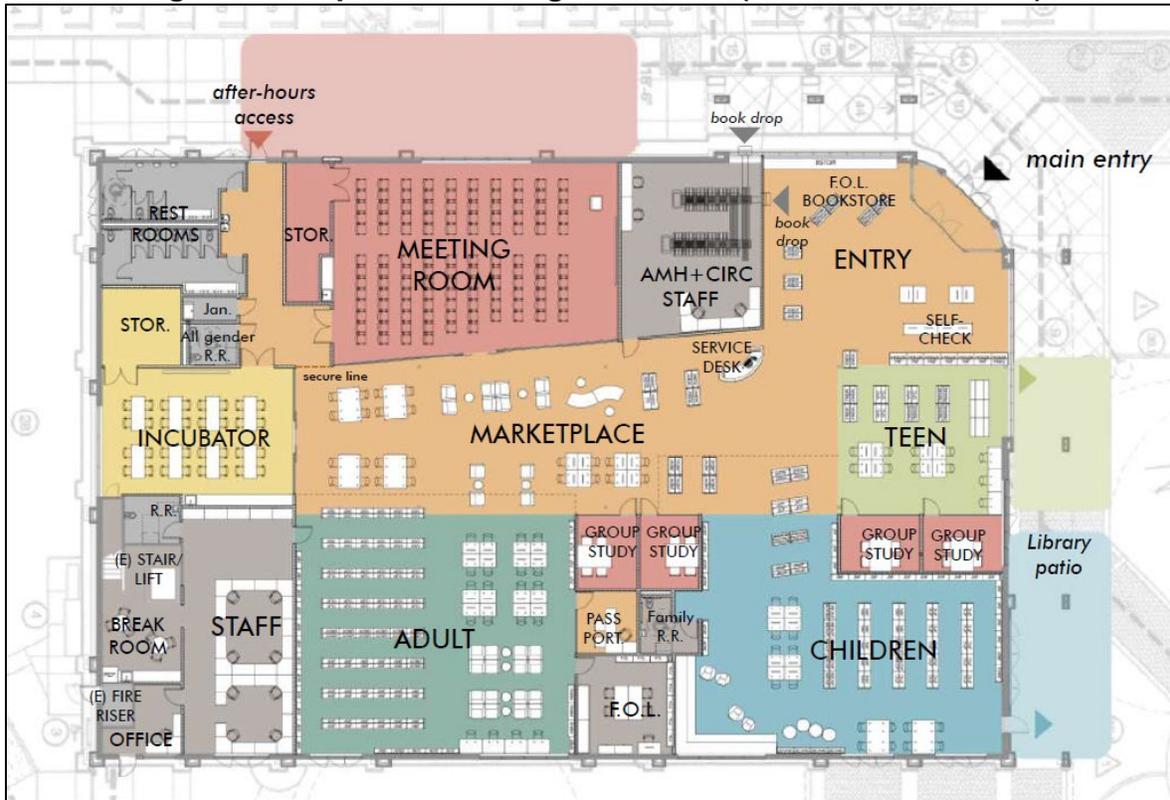


Figure 5: Proposed Material and Color Scheme



A variety of outreach and engagement efforts has informed the interior layout of the building. In 2021, staff from the City, SPL, and the architect led engagement efforts at the current library and the Old Town Plaza to understand what patrons wanted to see at the new site. Additional engagement involved the local chapter of the Friends of the Library (FOL) and library staff. The floor plan concept was presented to the City Council in December 2021, which endorsed the direction of the work effort.

The floor plan makes use of the current entry location to “pull” visitors into the space. After passing through the book return and self-checkout areas, visitors enter the Marketplace, where new materials are presented, along with reading and computer stations. Visitors then pass dedicated spaces for

teens and children and four group study rooms. The children's area includes a dedicated family restroom. At the end of the Marketplace is the adult section, with general circulation materials and an additional reading area. Off the adult area is a potential passport office (though this may be outfitted as an additional group study room) and a workspace for the FOL. Along the west wall is the meeting room, which has been sized for approximately 100 people in a classroom configuration. Beyond the meeting room are the restrooms. The incubator space at the south end of the building is new to this library, which would provide a dedicated space for people to make things, collaborate, and engage in tactile learning. The meeting room and incubator space are designed to be accessible after hours (upon reservation), with dedicated entry from the parking lot. Finally, two staff spaces are provided: one at the front for the circulation staff and the automated material handler and a second in the back for administrative staff.

While a great deal of work is proposed to convert the building from a retail space to a library, these changes maintain much of the building's existing exterior character and physical attributes (e.g., setbacks, height). There have not been major revisions to the OTSPA since the initial Design Review approvals in 2007. Exterior lighting would be maintained (though converted to more high-efficiency fixtures, as required), along with pedestrian pathways, overall landscaping character, and building materials (though the composite roof would be changed out for standing seam metal, with a similar color). The only substantive changes are the addition of the Library of Things shed, located approximately 25 feet from the rear property line, consistent with OTSPA requirements; the improvements around the meeting room and children's area patios; and the addition of the book locker. The exterior book drop access would be at the building adjacent to the main entry. No amplified sound is proposed at the patios.

The original approvals for the site provided 89 parking stalls. With the Project, this would be reduced to 86 parking stalls due to the installation of the plaza in front of the meeting room and the addition of the ADA-capable EV stalls. It should be noted that an additional three stalls will be removed upon any development of the adjoining property to the west, as provided in the original 2007 approvals and the corresponding access easement recorded on the property. However, the resulting parking count of 83 to 86 stalls would still comply with both the OTSPA standard (1 space per 600 square feet, or 30 stalls) and the Zoning Code standard (1 space per 400 square feet, or 45 stalls). It would also be nearly double the parking provided at the existing Elk Grove Library branch on Elk Grove-Florin Road, with approximately 5,000 square feet more building space.

Finally, the building is being designed with various energy efficiency opportunities and sustainable building practices. In addition to the provision of EV parking stalls, the building will be converted to an all-electric building, including HVAC (heat pump) and hot water heaters (heat pump and electric), efficient building lighting and opportunities for passive lighting, and the roof will be “pre-plumbed” for the future installation of solar panels (timing is contingent upon project financing and coordination with SMUD).

Public Art

In November 2016, the City Council adopted Resolution No. 2016-226, which established a Percent for the Arts Program for public art in publicly funded facilities and parks. The Program requires funding for public art at a value of two percent of the first \$10 million in construction costs and one percent for costs above \$10 million. The Resolution specified certain public projects that were initially subject to the Program and allowed expansion for other projects as determined by the City Council. This Project is not specifically named but it is appropriate to include the Project in the Program. The current construction cost estimate for the Project is approximately \$9 million, requiring two percent, or approximately \$180,000 under the Program. Staff is currently working with the City Arts Commission on developing an Art Plan for the Project. The selection of artwork will be brought to the City Council for award at a later date.

ENVIRONMENTAL REVIEW:

The California Environmental Quality Act (Section 21000, et. seq. of the California Public Resources Code, hereafter CEQA) requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.” The proposed project is a project under CEQA.

Staff has reviewed the Project to determine the required level of review under CEQA. The proposed project is exempt from CEQA under CEQA Guidelines Section 15301 (Existing Facilities). This exemption applies to the minor alteration of existing public or private structures, facilities, or equipment involving negligible or no expansion of existing or former use. Examples noted in the exemption include, but are not limited to:

- Interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.

- Additions to existing structures provided that the addition will not result in an increase of more than fifty percent of the floor area of the existing structure or 2,500 square feet, whichever is less, or 10,000 square feet if consistent with the General Plan and not in an environmentally sensitive area.

The proposed Project involves remodeling an existing 18,147-square-foot building for occupancy by the Elk Grove Library. This use is similar to the prior retail use in that the overall intensity and hours of operation are substantially similar to the prior retail use. The proposed site improvements involve interior remodeling of the building, including new partitions, plumbing, and electrical conveyances. Exterior improvements focus on installing electrical vehicle charging infrastructure, new patio space, and a Library of Things shed. The proposed shed structure measures approximately 96 square feet, which is substantially less than the building addition allowed by this exemption. The site has been previously developed and is not within an environmentally sensitive area. Therefore, the Project qualifies for the identified exemption, and no further environmental review is required.

ALTERNATIVE ACTIONS:

The City Council may request revisions to the Project design or conditions of approval. Depending upon the nature of the request(s), this could extend the Project timeline or require additional funds to complete construction. The Council may also choose not to approve the Project, which would effectively cancel the Project. Staff does not recommend this action as there is a need for expanded/relocated library services in Elk Grove, and this Project accomplishes these objectives.

FISCAL IMPACT:

As noted at the [May 10, 2023 City Council meeting](#), the Project is being funded by a collection of local and state grant funds. The total Project costs are currently estimated at \$15 million, with \$7.4 million funded by grants. Local funds include the City's Capital Facilities Library Fund, the Library Ownership Fund, and the General Fund. The Project remains on budget and on schedule.

ATTACHMENTS:

1. Resolution
 - a. Exhibit A: Project Description
 - b. Exhibit B: Project Plans
 - c. Exhibit C: Conditions of Approval
2. Similar Use Determination

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
FINDING THE ELK GROVE LIBRARY RELOCATION PROJECT EXEMPT FROM
CEQA UNDER SECTION 15301 (EXISTING FACILITIES) AND APPROVE A CIP
DESIGN REVIEW FOR THE ELK GOVE LIBRRARY RELCOATION PROJECT
(WFC046) (9260 ELK GROVE BOULEVARD, APN 134-0050-001)**

WHEREAS, the City of Elk Grove (City) is a member of the Sacramento Public Library Authority (SPL), a Joint Powers Authority (JPA); and

WHEREAS, under the terms of the SPL JPA, each local agency is responsible for providing the physical space necessary for public libraries within its jurisdiction; and

WHEREAS, in 2006, the City purchased the property at 8900 Elk Grove Boulevard, completed certain improvements, and provided the building to SPL for the Elk Grove Library; and

WHEREAS, in 2018, the City completed a Library and Cultural Arts Center Study (Study), which identified the long-term needs for library and cultural arts facilities in the City; and

WHEREAS, the Study identified that current library facilities are undersized for the current population and that both the Old Town and Franklin branches are not well configured and have poor operational characteristics; and that specifically the existing Elk Grove Library is undersized, has insufficient parking, and is not configured for optimum SPL operations; and

WHEREAS, in 2007, the City approved the Rite Aid Pharmacy Design Review (Project #EG-06-1022), located at 9260 Elk Grove Boulevard, APN 134-0050-001; and

WHEREAS, in 2019, the pharmacy ceased operations; and

WHEREAS, in 2021, the City Council authorized purchase of the property for possible use as a relocated Elk Grove Library (the Project); and

WHEREAS, in summer 2021, the City and SPL began conceptual design for a relocated Elk Grove Library at the Project site; and

WHEREAS, the Project site is within the Old Town Special Planning Area (OTSPA) with a classification of Commercial; and

WHEREAS, the OTSPA Commercial listing allows for Commercial-Cultural as permitted uses by right; and

WHEREAS, the Development Services Director has determined that a library is substantially similar to other uses listed as permitted uses in the Commercial-Cultural allowed use listing in the OTSPA and has issued a similar use determination as provided by OTSPA Table 2 – Permitted and Conditionally Permitted Land Uses, Footnote 8; and

WHEREAS, based upon the circumstances of the Project as a City Capital Improvement Program (CIP) project, and in keeping with Elk Grove Municipal Code Section 23.16.080 (Design Review), a CIP Design Review is required for the Project, which is subject to City Council action upon recommendation of the Planning Commission; and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APN 134-0050-001; and

WHEREAS, the City determined that the Project is subject to the California Environmental Quality Act; and

WHEREAS, State CEQA Guidelines Section 15301 sets forth an exemption to CEQA for the minor alteration of existing public or private structures, facilities, or equipment involving negligible or no expansion of existing or former use; and

WHEREAS, the Planning Commission held a duly-noticed public hearing on September 25, 2023, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting and voted 3-0 (Commissioners Poole and Singha absent) to recommend approval to the City Council; and

WHEREAS, the City Council held a duly-noticed public hearing on October 25, 2023, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Elk Grove hereby find that no further environmental review is required under the California Environmental Quality Act for the Project pursuant to State CEQA Guidelines Section 15301 based upon the following finding:

CEQA

Finding: No further environmental review is required under the California Environmental Quality Act pursuant to State CEQA Guidelines Section 15301.

Evidence: The California Environmental Quality Act (Section 21000, et. seq. of the California Public Resources Code, hereafter CEQA) requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.” The proposed project is a project under CEQA.

The proposed project is exempt from CEQA under State CEQA Guidelines Section 15301 (Existing Facilities). This exemption applies to the minor alteration of existing public or private structures, facilities, or equipment involving negligible or no expansion of existing or former use. Examples noted in the exemption include, but are not limited to:

- Interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.
- Additions to existing structures provided that the addition will not result in an increase of more than fifty percent of the floor area of the existing structure or 2,500 square feet, whichever is less, or 10,000 square feet if consistent with the General Plan and not in an environmentally sensitive area.

The proposed Project involves the remodel of an existing 18,147 square-foot building for occupancy by the Elk Grove Library. This use is similar to the prior retail

use, in that the overall intensity and hours of operation are substantially similar to the prior retail use. The proposed site improvements involve interior remodeling of the building, including new partitions, plumbing, and electrical conveyances. Exterior improvements focus on the installation of electrical vehicle charging infrastructure, new patio space, and a “Library of Things” shed. The proposed shed structure measures approximately 96 square feet, which is substantially less than building additions allowed by this exemption. The site has been previously developed and is not within an environmentally sensitive area. Therefore, the Project qualifies for the identified exemption and no further environmental review is required.

AND, BE IT FURTHER RESOLVED, that the City Council of the City of Elk Grove hereby approves a CIP Design Review for the Project, as described in Exhibit A and illustrated in Exhibit B, subject to the conditions of approval in Exhibit C (all incorporated herein by this reference), based upon the following findings as established in the OTSPA.

Design Review

Finding #1: The proposed project is compatible with the historical character of the community.

Evidence #1: The architecture and design of the proposed Project reflects the historical character of the area and is compatible with the historic character of the community. The building utilizes a collection of brick, stucco, and tile, which are found in other buildings within the neighborhood. The Project has been designed to comply with the standards and guidelines of the OTSPA, including complementary colors and roof forms.

Finding #2: The proposed project is consistent with the objectives of the General Plan, the Zoning Code, and the Old Town Elk Grove Special Planning Area Design Standards and Guidelines.

Evidence #2: The Project is consistent with the objectives of the General Plan, which designates this site as commercial. The Project complies with Land Use Policy LU-6-1, which provides for maintaining and improving the aesthetic quality and architectural diversity of the Old Town historical district. The Project is consistent with the development standards of the Zoning Code and the OTSPA relative to setbacks, height, mass, and overall building form.

Finding #3: The proposed architecture, site design, and landscaping are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #3: The architecture of the building is suitable for the purpose of the building. The landscaping has been designed to comply with City standards and will be enhanced and refreshed as part of the Project. New plaza features will integrate to the existing built form and provide additional gathering spaces for library patrons.

Finding #4: The architecture, the character, scale and quality of the design, the relationship with the site and other buildings, building materials, colors, the screening of exterior appurtenances, exterior lighting and signing, and similar elements establish a clear design concept and are compatible with the character of buildings on adjoining and nearby properties.

Evidence #4: The design of the Project establishes a clear design concept and is compatible with nearby properties. For example, adjoining developments to the north and east utilizes similar materials and roof forms. Other developments to the west of the Project within the OTSPA also utilizes these materials and forms. Proposed building colors complement the surrounding area.

Finding #5: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #5: The Project provides an entry along Elk Grove Boulevard that establishes a pedestrian interface along the street. A bicycle and pedestrian path has been provided across the northern portion of the site along Elk Grove Boulevard. Vehicular access and circulation are provided on site and can accommodate access and circulation for emergency vehicles. Pedestrian pathways across the site are preserved and enhanced with the new plaza spaces.

AND, BE IT FURTHER RESOLVED, that the City Council of the City of Elk Grove hereby designates the Project as being subject to the City's Percent for the Arts Program as provided in Resolution No. 2016-226, consistent with the provisions of Section 4, Eligible Funding.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 25th day of October 2023

BOBBIE SINGH-ALLEN, MAYOR of the
CITY OF ELK GROVE

ATTEST:

APPROVED AS TO FORM:

JASON LINDGREN, CITY CLERK

JONATHAN P. HOBBS
CITY ATTORNEY

EXHIBIT A: PROJECT DESCRIPTION

The proposed Project, **the Elk Grove Library Relocation (WEF046)**, involves the remodel of an existing 18,147 square-foot retail building for occupancy as the Elk Grove Library. The existing library at 8900 Elk Grove Boulevard would, upon completion of the proposed improvements, relocate operations to the Project site. The proposed renovations include the addition of various doors and windows to the exterior of the building, repainting of the structure, and various improvements to the Project site, including addition of patio spaces, electric vehicle charging infrastructure, and a shed for storage of a “Library of Things”.

Design Review

The following modifications to the existing building and Project site which are illustrated further in Exhibit B, would be made as part of the Project. These improvements are in addition to the interior remodel, described in Exhibit B.

- Replacement of some of the existing display windows with clear windows into the building.
- Addition of doors and windows for additional access and visibility into the structure.
- Creation of a new patio space immediately outside the community room (the Outdoor Meeting Room Patio).
- Addition of an after-hours book locker
- Placement of additional bike racks at the main entrance.
- Addition of a flagpole outside the main entrance.
- Replacement of the fountain structure at the corner of Waterman Road and Elk Grove Boulevard with a focal feature (potentially public art). The exact design of this will be determined at a later date.
- Creation of a patio space in the northeast corner as part of the children’s area of the library.
- Addition of an outdoor staff break area along Waterman Road.
- Addition of a Library of Things along the south property line. This structure, which would be a shed, will store a variety of equipment that could be checked out from the library.
- Addition of a parking space for a Book Mobile.
- Addition of electric vehicle (EV) charging equipment in the parking lot. The site would be improved with 10 EV stalls on opening day, with the opportunity to expand with an additional 12 stalls (22 stalls in total) as demand increases.
- Cleanup and improvement to the landscaping throughout, including completing maintenance and preventative pruning to the existing trees.
- Repainting the building.
- Replace the roofing along the colonnade shed roofs on the north and west elevations. The replacement will be a standing seam metal roof, with a similar color to the existing one.

ELK GROVE LIBRARY RETROFIT

9260 ELK GROVE BLVD, ELK GROVE CA 95624
ENTITLEMENT PACKAGE
SEPTEMBER 1, 2023



GROUP 4
ARCHITECTURE
RESEARCH +
PLANNING, INC
211 LINDEN AVENUE
S.O. SAN FRANCISCO
CA 94080 USA
65 0-871-0709

ELK GROVE
LIBRARY RETROFIT
9260 ELK GROVE BLVD
ELK GROVE
CA 95624

Project Arch: _____
CA REG: _____
PROJECT: 220842
DATE: _____
PROJECT NO: 00102023
RETIREMENT PACKAGE: 00102023

PROJECT TEAM

ARCHITECT:
GROUP 4 ARCHITECTURE RESEARCH +
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331 8TH STREET
SACRAMENTO, CA 94103
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CONTACT: PETER MCCOY/DALY

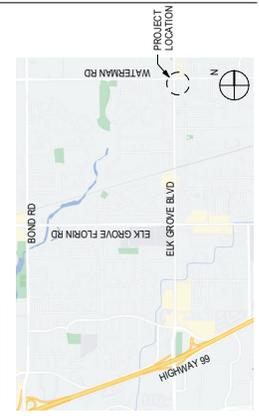
PROJECT SCOPE OF WORK:
THIS PROJECT IS THE RENOVATION OF A FORMER
PUBS BUILDING INTO A LIBRARY. THIS WILL
INCLUDE INTERIOR RENOVATION, ELECTRICAL
WORK, AND LIMITED EXTERIOR MODIFICATION TO
ADD AND EXPAND OPENINGS.

STRUCTURAL:
ZFA STRUCTURAL ENGINEER
3000 MARKET STREET SUITE 105
SACRAMENTO, CA 95865
T: (913) 384-8669
CONTACT: STEVE R. PATTON

ELECTRICAL & LIGHTING:
ATLUM ENGINEERING
1000 MARKET STREET SUITE 105
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MEP & FIRE PROTECTION:
BLUE FOREST ENGINEERING INC.
1000 MARKET STREET SUITE 105
SACRAMENTO, CA 95865
T: (510) 924-5205
CONTACT: TYLER BRADSHAW

LOCATION MAP:



**DRAFT FOR INTERNAL
USE ONLY. NOT FOR
CONSTRUCTION.**

SHEET TITLE AND NO.
COVER SHEET

A0.0



GROUP 4
 ARCHITECTURE
 RESEARCH +
 PLANNING, INC
 211 LINDEN AVENUE
 SO. SAN FRANCISCO
 CA 94080 USA
 650-871-0709



ELK GROVE
LIBRARY RETROFIT
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project Arch: —
 Client: —
 Project: 2288-62
 Title: —
 Date: —
 Project No.: 2017000000
 Revision No.: 001/0001

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SHEET TITLE AND NO.
 SHEET INDEX

A0.1

SHEET INDEX ENTITLEMENT PACKAGE

SHEET NO.	SHEET NAME
A0.0	COVER SHEET
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L1.2	LANDSCAPE CONCEPT PLAN - BELLANUEUS
L1.3	LANDSCAPE CONCEPT IMAGES
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 650-871-0709



ELK GROVE
 LIBRARY RETROFIT
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project Arch:		DATE	
CA REG:	2258-62	REVISED BY:	9/10/2023
PROJECT:		PROJECT PACKAGE:	9/10/2023

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SHEET TITLE AND NO.
 INTERIOR
 PERSPECTIVES
 (FOR REFERENCE
 ONLY)

A0.4-7



① IN-INTERIOR PERSPECTIVES - MARKET PLACE LOOKING WEST
 3/8" = 1'-0"



② IN-INTERIOR PERSPECTIVE - MARKETPLACE LOOKING EAST
 3/8" = 1'-0"



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10101 The Village Road, Suite 140
Culver City, CA 90230
www.cala.com



ELK GROVE
SAC
IDB

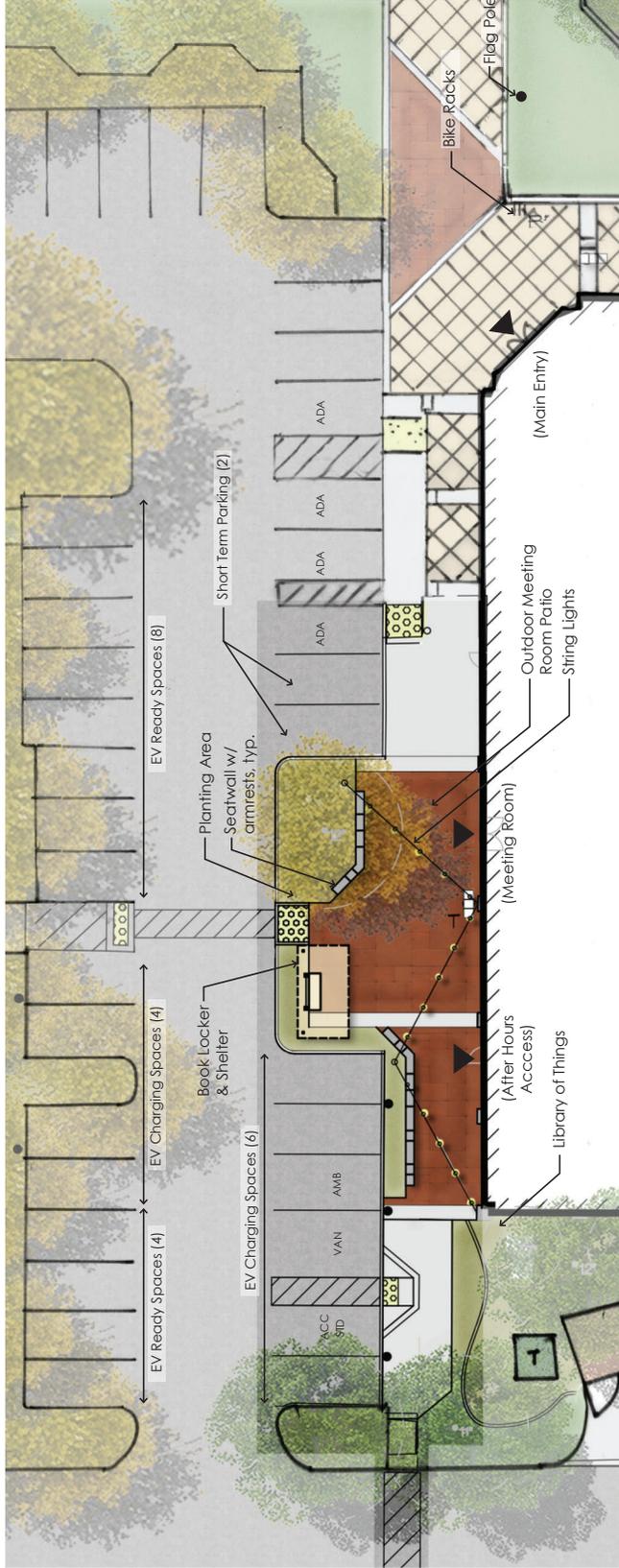
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CA 95624



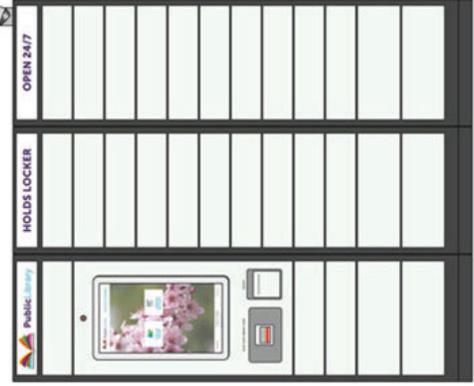
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ISSUE DATE 5/2/2022
NO. 581871L
DINLERTY PACKAGE #102022
CONTRACTING SET #102022

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SHEET TITLE AND NO.
OUTDOOR MEETING
ROOM PATIO
L1.1



ELK GROVE LIBRARY





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12150 The Woodlands, Suite 140
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ISSUE DATE 5/2/2022
50 PERMITAL
DRAFTING PACKAGE #10/2022
CONTRACTING SET #10/2022

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SHEET TITLE AND NO.
LANDSCAPE
CONCEPT IMAGES
L1.3

1 OUTDOOR LIBRARY PATIO

- Modular & Fixed Seating
- Decorative Seatwall
- Ornamental Fencing
- Brick Patio



2 OUTDOOR MEETING ROOM PATIO

- Seatwall
- String Lights
- Enhanced Pavement



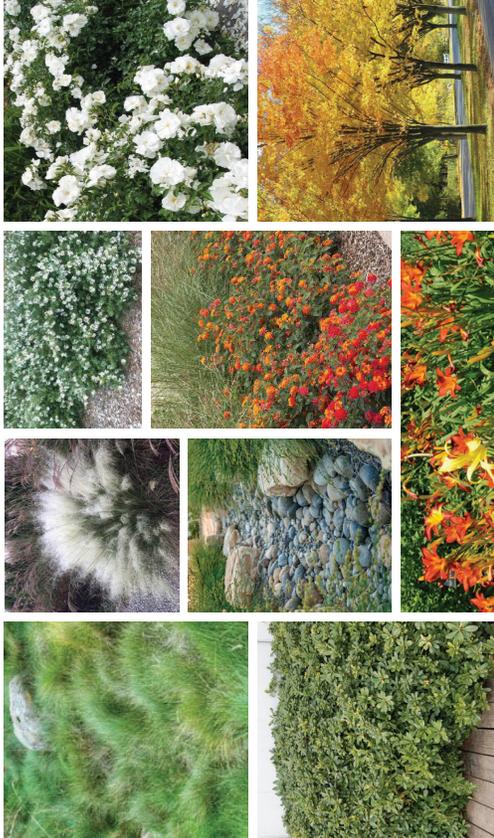
3 MISCELLANEOUS ITEMS

- Outdoor Staff Break Area
- Seating w/ Shade
- Library of Things Shed



4 LANDSCAPE ENHANCEMENT OPPORTUNITIES

- Bio-swale Planting
- Street Trees along Waterman Rd
- Low Water Use Grasses and Flowering Shrubs



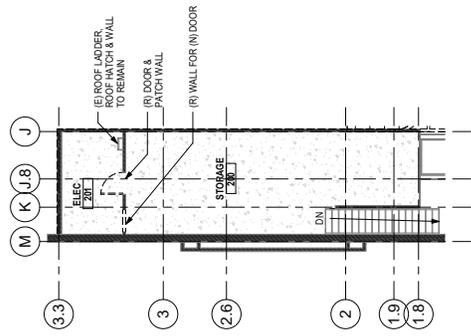
SEE SHEET L1.0 FOR LANDSCAPE CONCEPT PLAN

SHEET NOTES

1. SEE A0.30 FOR GENERAL DEMOLITION NOTES
2. SEE A2.04 & A2.05 FOR DEMO ELEVATIONS
3. PATCH & REPAIR FLOOR AFTER REMOVAL OF WALLS
4. SEE M.E.P. DRAWINGS FOR UNDERGROUND UTILITIES FOR TRENCHING

WALL TYPE LEGEND

- EXISTING WALL, TO REMAIN
- - - EXISTING WALL, TO BE DEMOLISHED



1 (D) FP02 - MEZZANINE FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



A2.0-2

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9260 ELK GROVE BLVD
ELK GROVE
CA 95624

Project Arch:	—
CA REG:	225842
PROJECT:	—
DATE:	08/01/2023
PROJECT NO.:	9871023
PROJECT PACKAGE:	9871023

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SHEET TITLE AND NO.
DEMOLITION
MEZZANINE FLOOR
PLAN

SHEET NOTES

1. SEE A2.0-3 GENERAL REMOVAL NOTES PATCH & REPAIR ROOFING AFTER REMOVAL OF ROOF TO INSTALL NEW WORK.
- 2.
3. PROTECT EXISTING ROOF TOP EQUIPMENT.

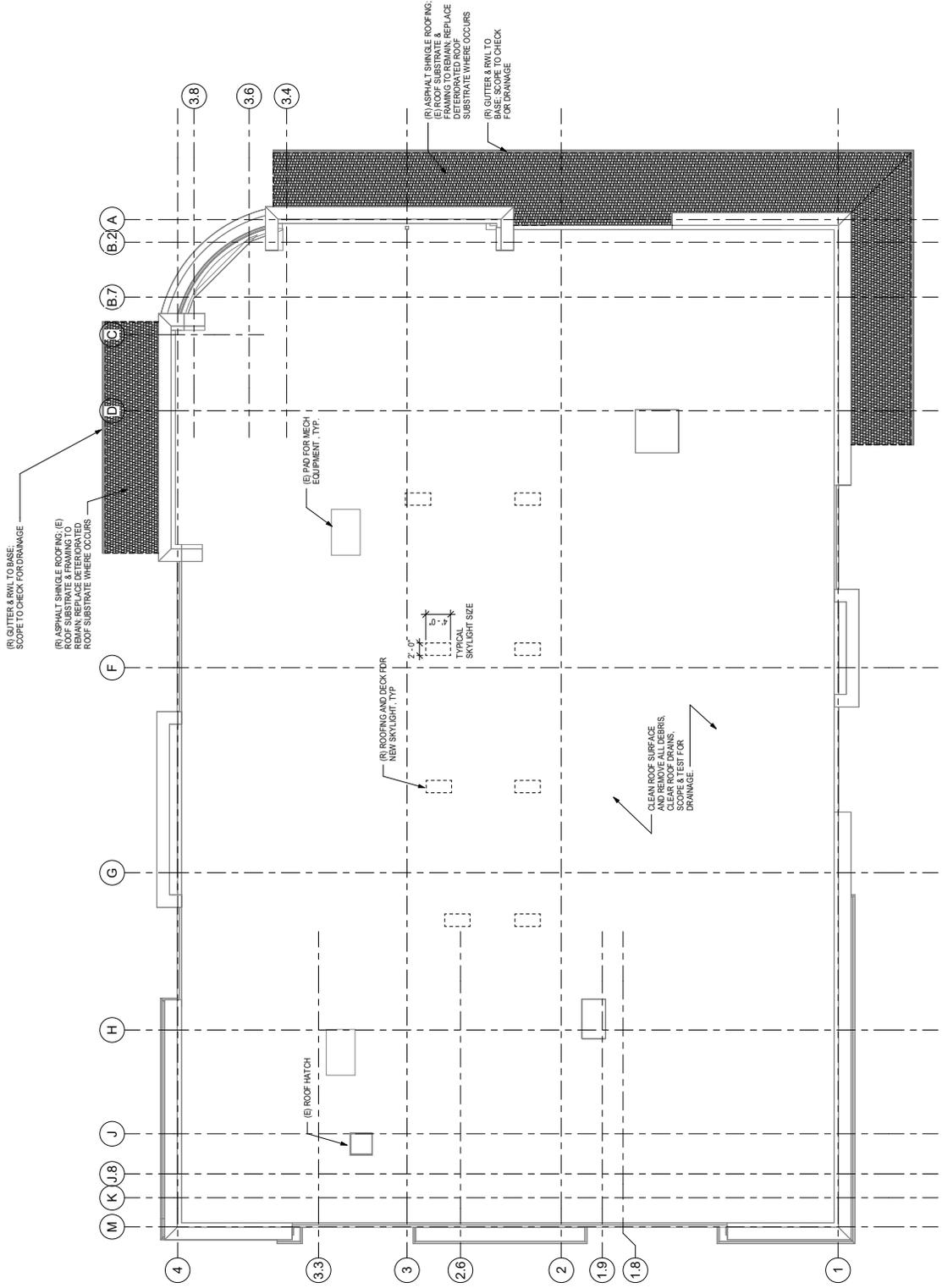
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 CA 95624

Project No.:	220842
Client:	ELK GROVE
Contract No.:	220842
Contract Name:	ELK GROVE LIBRARY
Contract Package:	220842
Date:	08/01/2022
Drawn By:	08/01/2022
Checked By:	08/01/2022
Reviewed By:	08/01/2022

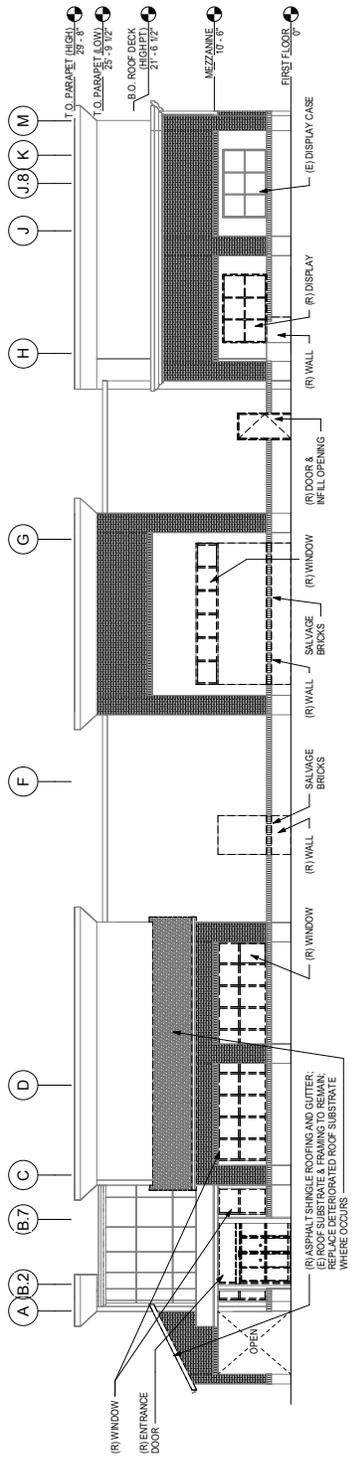
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SHEET TITLE AND NO.
DEMOLITION ROOF PLAN
A2.0-3

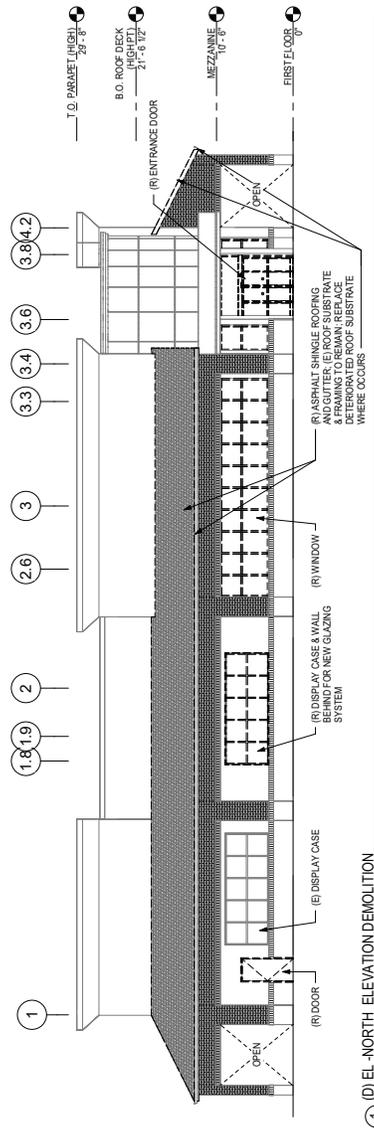


(1) (D) - ROOF PLAN - DEMOLITION
 1/8" = 1'-0"

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 SHEET TITLE AND NO.
 DEMOLITION ELEVATIONS
A2.0-4



(2) (D) EL - WEST ELEVATION DEMOLITION
 1/8" = 1'-0"



(1) (D) EL - NORTH ELEVATION DEMOLITION
 1/8" = 1'-0"



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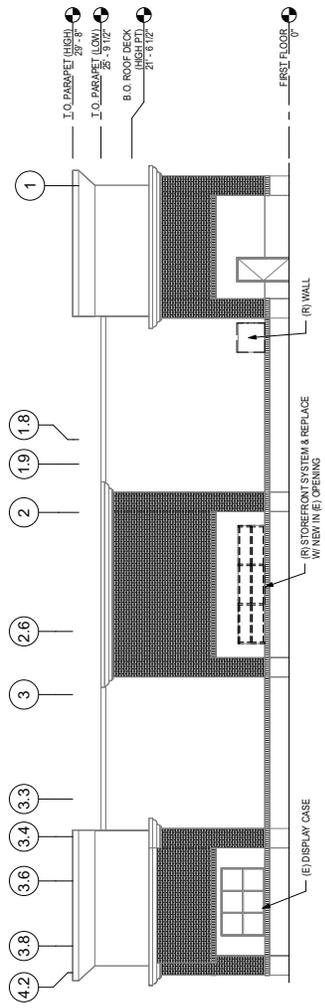
ELK GROVE
LIBRARY RETROFIT
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 ELK GROVE
 CA 95624

Project Arch:	
CA REG:	228642
PROJEC:	
DATE:	08/01/2023
BY:	98101203
REVISION/NO:	08/01/2023

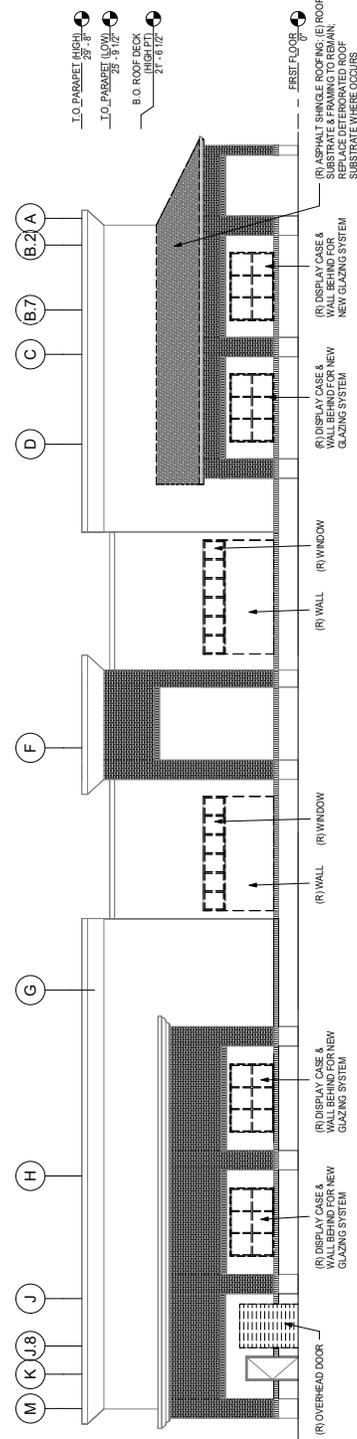
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SHEET TITLE AND NO.
 DEMOLITION ELEVATIONS

A2.0-5



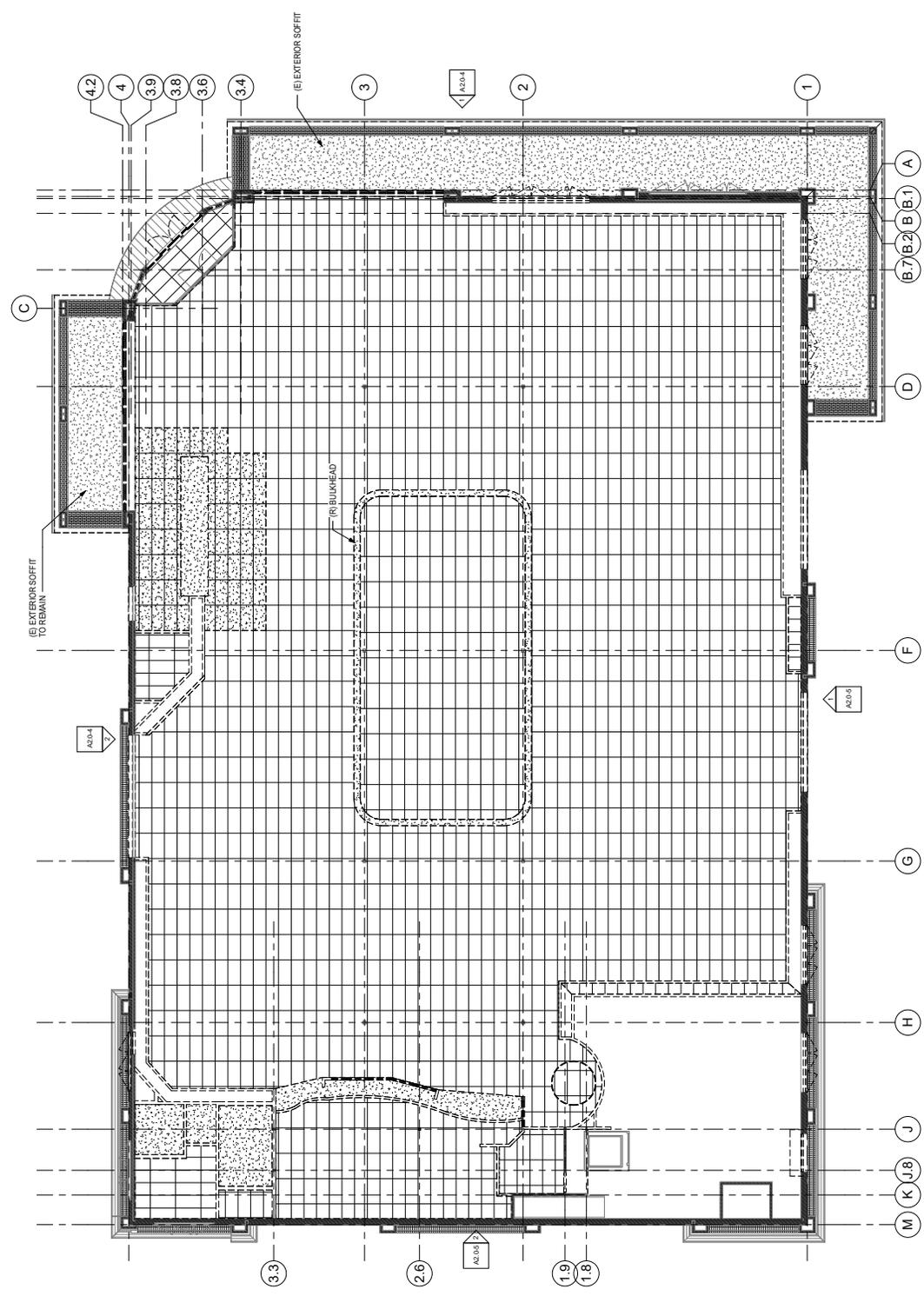
② EL - SOUTH ELEVATION DEMOLITION
 1/8" = 1'-0"



① EL - EAST ELEVATION DEMOLITION
 1/8" = 1'-0"

SHEET NOTES

- SEE A2.0-3 FOR GENERAL DEMOLITION NOTES
- DEMOLISH ALL CEILINGS AND SOFFITS, U.O.N.



1 (D) RCP1 - REFLECTED CEILING PLAN - FIRST FLOOR
 1/8" = 1'-0"



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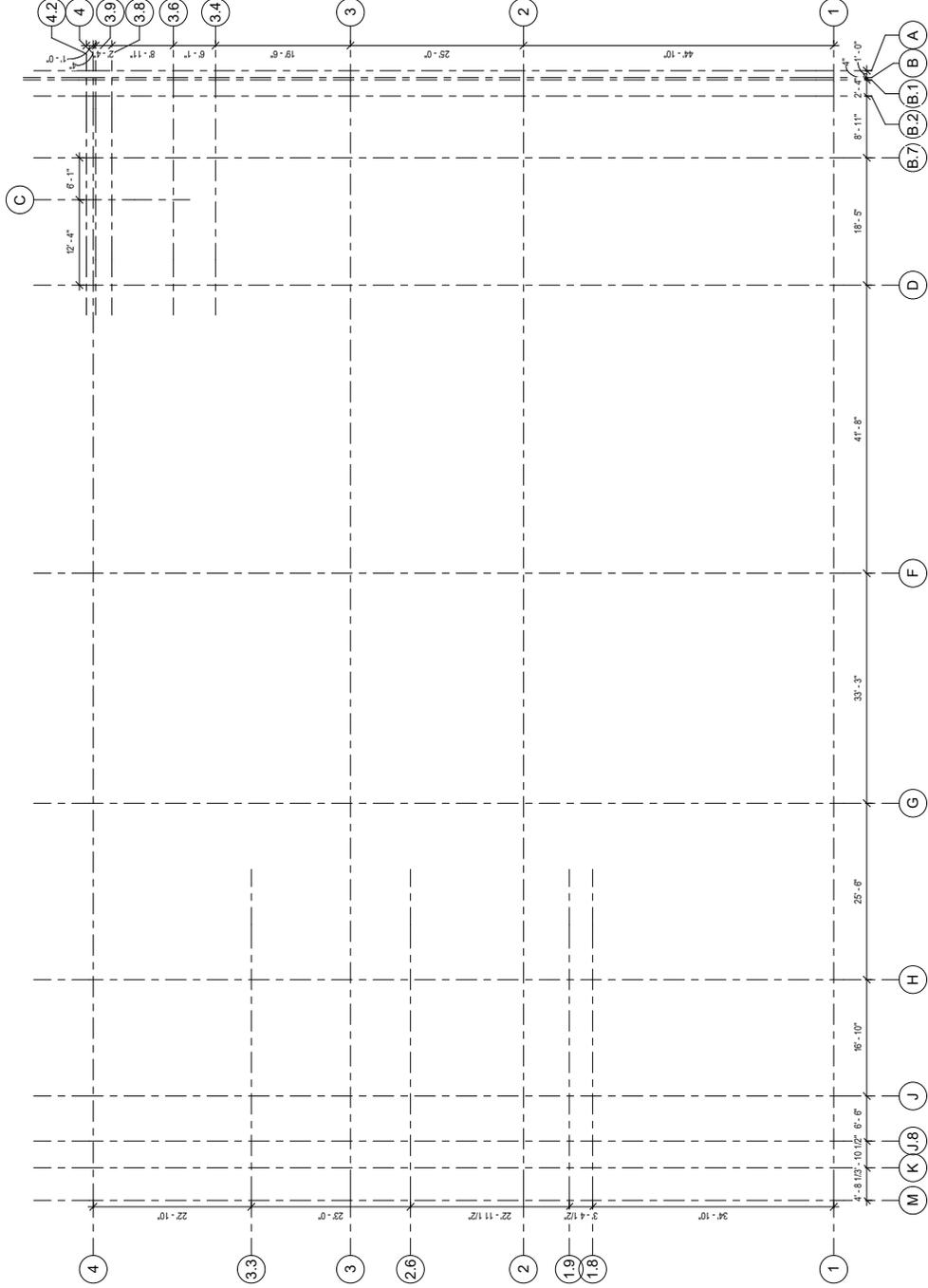
Project No.: 2208-02
 CA REG. NO.:
 PROJ. NO.:
 DATE: 08/01/2022
 DRAWN BY: 08/01/2022
 CHECKED BY: 08/01/2022
 PERMITTED INVOICE: 08/01/2022

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SHEET TITLE AND NO.
 GRID PLAN



A2.1-1



1 GP- GRID PLAN
 1/8" = 1'-0"



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**ELK GROVE
 LIBRARY RETROFIT**
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project No.:	220842
Client:	ELK GROVE LIBRARY
Architect:	GROUP 4
Scale:	AS 1/4" = 1'-0"
Date:	08/01/2023
Revision:	08/01/2023
Drawn by:	AD
Checked by:	AD
Project Manager:	AD

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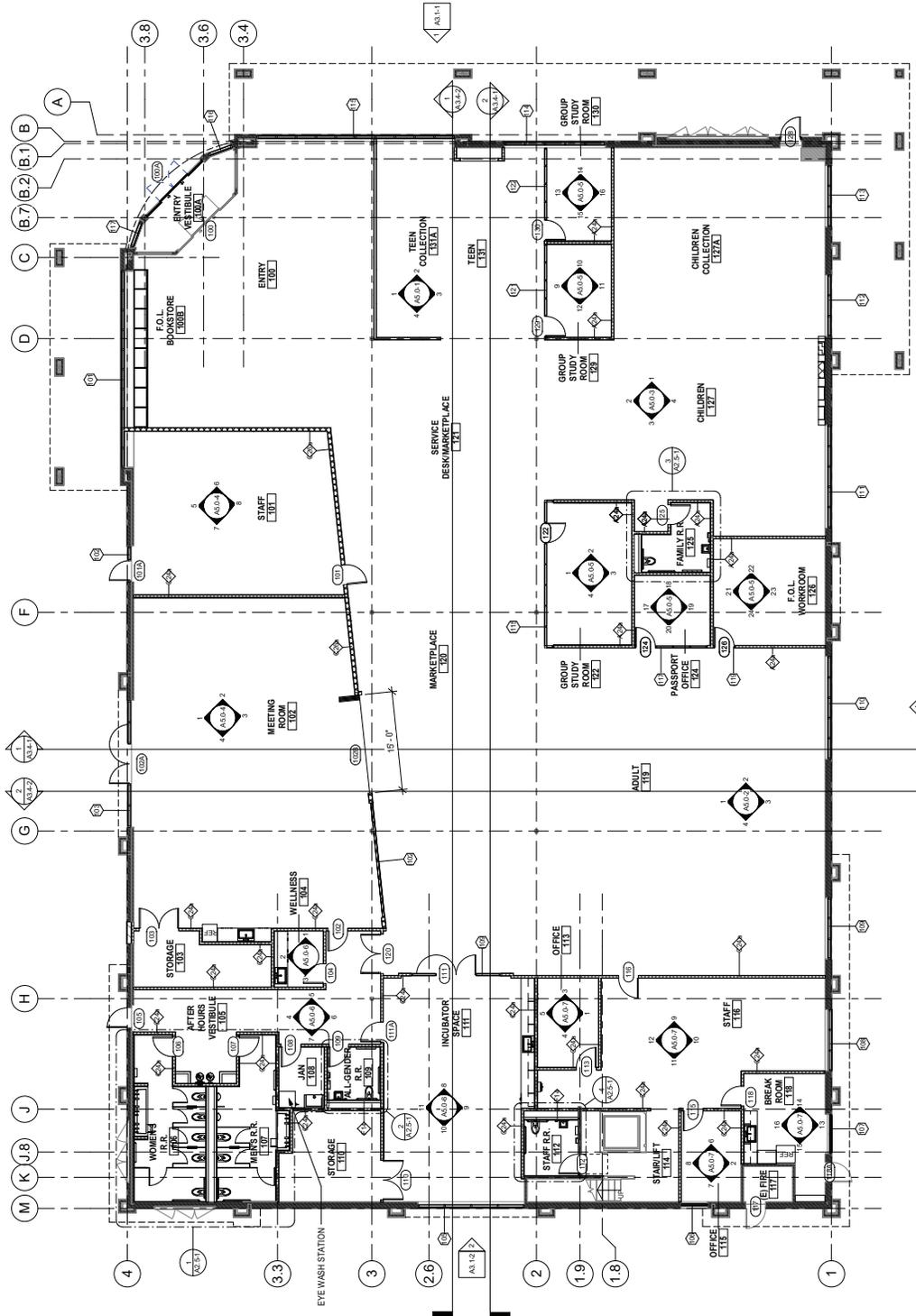
SHEET TITLE AND NO.
FIRST FLOOR PLAN



A2.4-1

WALL TYPE LEGEND

(Dashed line)	NEW WALL - INSULATED
(Solid line)	NEW WALL - UNINSULATED
(Dotted line)	EXISTING WALL - TO REMAIN



FP01- FIRST FLOOR PLAN
 1/8" = 1'-0"



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ELK GROVE
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Project Arch:	
CA REG:	225842
PROJECT:	
DATE:	
PROJECT NO.:	0601022
REVISION/NO.:	0601022

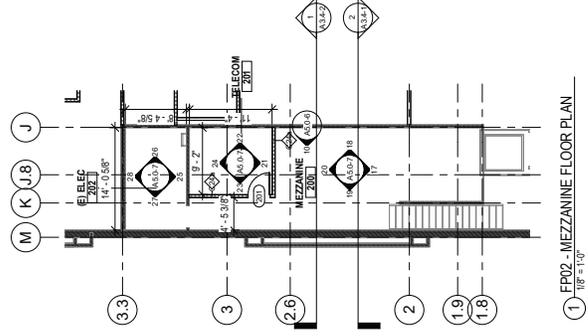
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SHEET TITLE AND NO.
 FLOOR PLAN -
 MEZZANINE

A2.4-2

WALL TYPE LEGEND

- NEW WALL - INSULATED
- NEW WALL - UNINSULATED
- EXISTING WALL - TO REMAIN



1 FP02 - MEZZANINE FLOOR PLAN
 1/8" = 1'-0"



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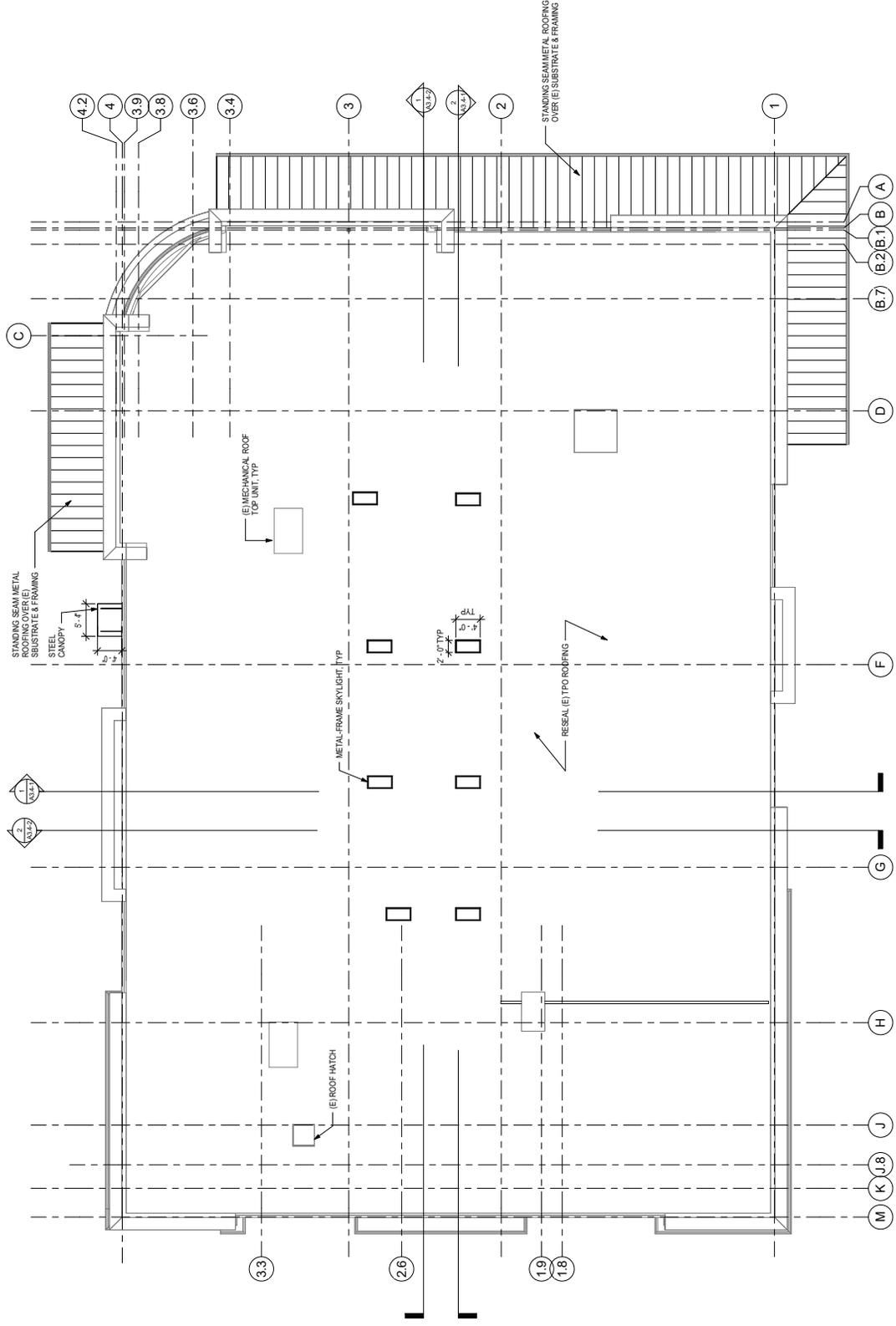
Project Arch:	
CA REG:	228842
PROJEC:	
DATE:	
ISSUE:	
REVISION:	
DATE:	
ISSUE:	
REVISION:	

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SHEET TITLE AND NO.
 ROOF PLAN



A2.4-3



1 R01-ROOF PLAN
 1/8"=1'-0"



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Project Arch. —
 CA REG. —
 PROJECT — 2208-02
 DATE —
 REV. —
 REVISIONS —
 REVISIONS —

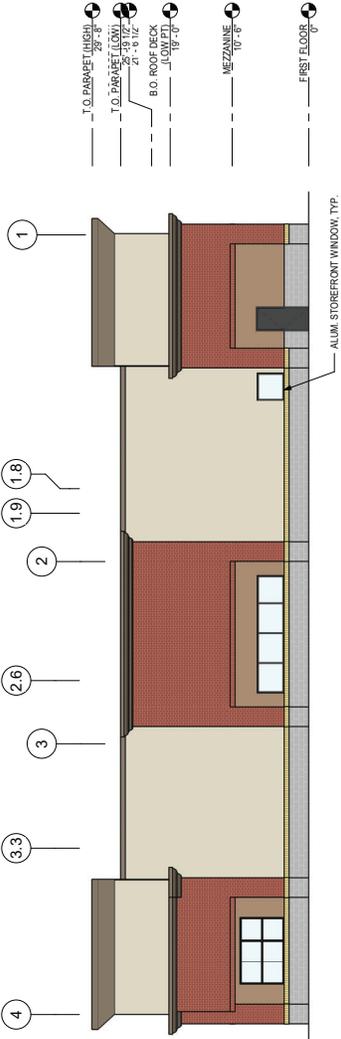
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SHEET TITLE AND NO.
 BUILDING
 ELEVATIONS
 PRESENTATION

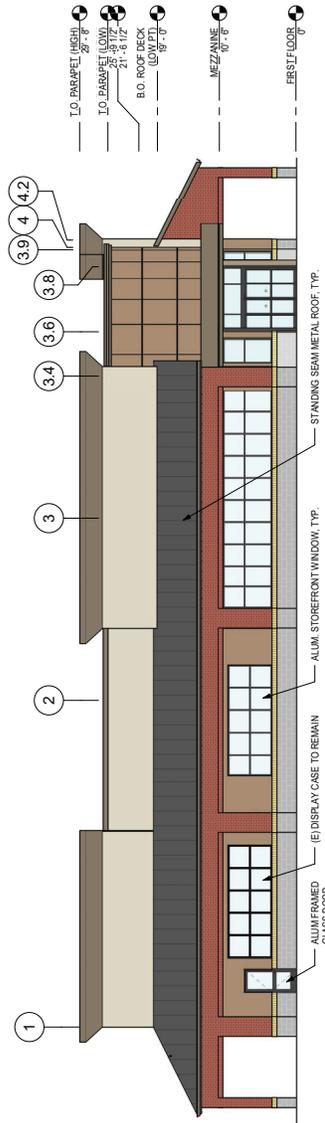
A3.1-3

EXTERIOR WALL FINISH LEGEND

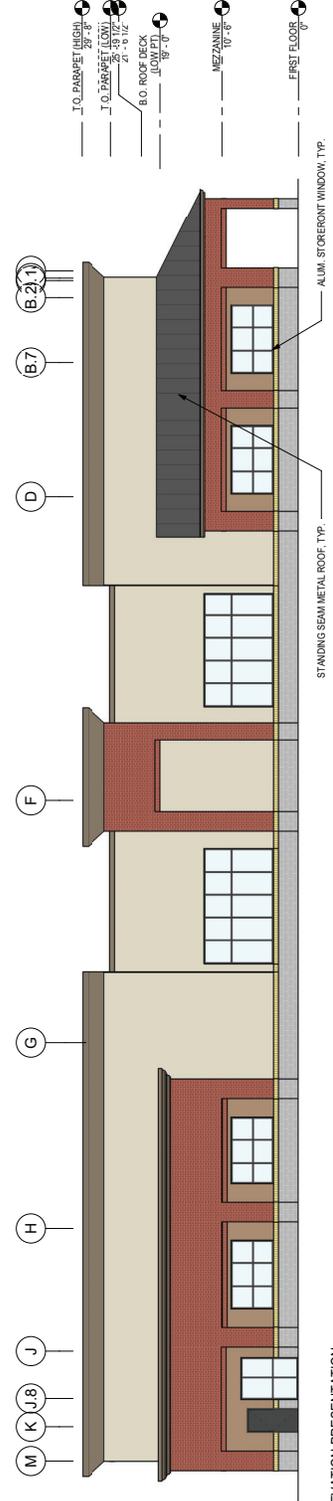
- P1 DUNN EDWARDS #DE1041
- P2 DUNN EDWARDS #DE1041
- P3 DUNN EDWARDS #DE1041
- EXISTING BRICK
- EXISTING CMU
- EXISTING TILE



③ EL - SOUTH ELEVATION PRESENTATION
 1/8" = 1'-0"



② EL - NORTH ELEVATION PRESENTATION
 1/8" = 1'-0"



① EL - EAST ELEVATION PRESENTATION
 1/8" = 1'-0"



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Project No.: 220842
 Client: DRE
 Date: 08/01/2023
 Revision: 08/01/2023

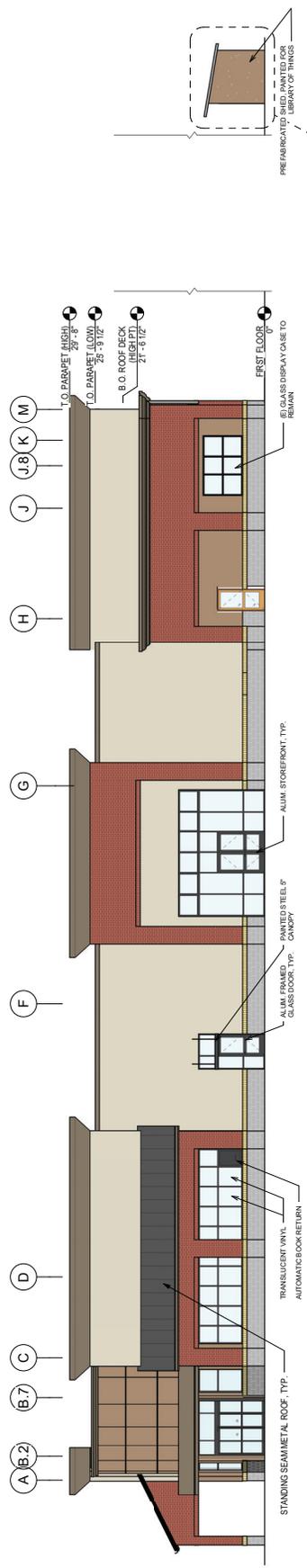
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SHEET TITLE AND NO.
BUILDING ELEVATIONS PRESENTATION

A3.1-4

EXTERIOR WALL FINISH LEGEND

- P1 DUNN EDWARDS #DE1641
- P2 DUNN EDWARDS #DE1718
- P3 DUNN EDWARDS #DE1695
- EXISTING BRICK
- EXISTING CMU
- EXISTING TILE



① EL-WEST ELEVATION PRESENTATION OPTION 1
 1/8" = 1'-0"



12X6 TUFF SHED WITH DOUBLE DOORS
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Project Arch: _____
 Client: _____
 Designer: _____
 Date: _____
 Revision: _____
 Drawing No: _____

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SHEET TITLE AND NO.
 ENLARGED
 WINDOW
 ELEVATIONS
 (EXTERIOR)

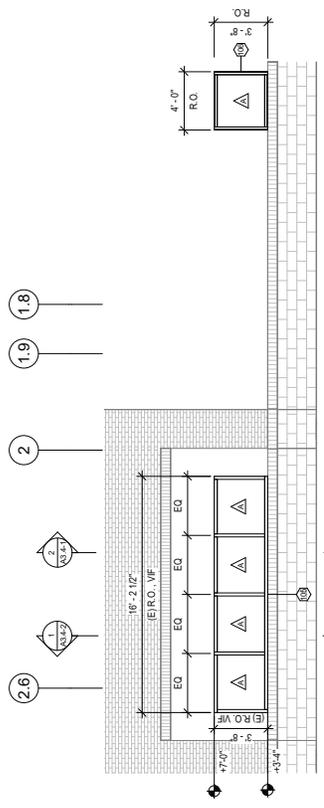
A3.2-1

WINDOW LEGEND

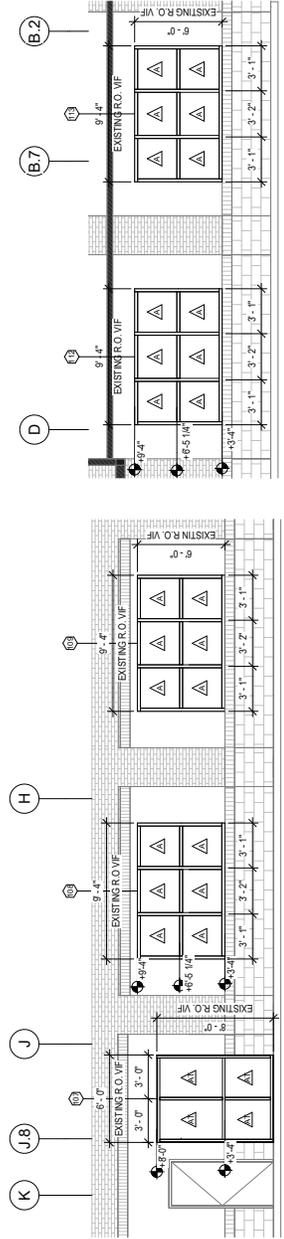
- WINDOW/DOWNER NUMBER
- GLAZING TYPE
- △ 1" INSULATED GLAZING UNIT WITH LOW-E COATING
 - △ 1" TEMPERED INSULATED GLAZING UNIT WITH LOW-E COATING
 - △ 1/4" FLOAT GLASS
 - △ 1/4" LAMINATED FLOAT GLASS
- SHADE TYPE
- MS MOTORIZED SHADE
 - S MANUALLY OPERATED SHADE
 - NS NO SHADE
- FRAME MATERIAL
- ALUM ALUMINIUM TYPE FOR ALL
- FRAME TYPE
- A STOREFRONT 2" X 4 1/2" MULLION W/ FRONT GLAZING
 - B INTERIOR WINDOW SYSTEM 2" X 1/2" MULLION

WINDOW SCHEDULE - A3.2-1

WIN #	GLAZING TYPE	FRAME TYPE	SHADE TYPE
105	AT	A	S
106	AT	A	S
107	AT	A	S
108	ATIA	A	S
109	ATIA	A	MS
110	ATIA	A	MS
111	ATIA	A	MS
112	ATIA	A	MS
113	ATIA	A	MS

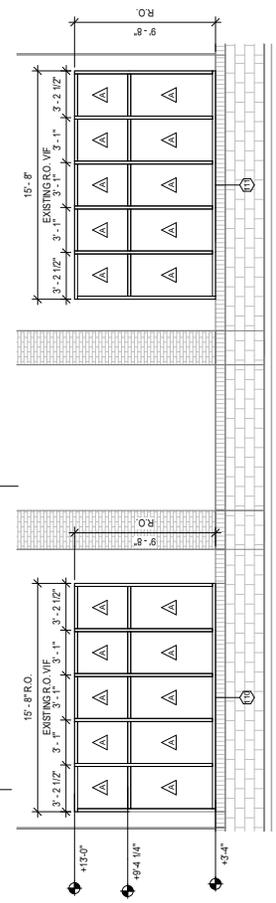


3 EEL - SOUTH - STAFF B
 1/4" = 1'-0"



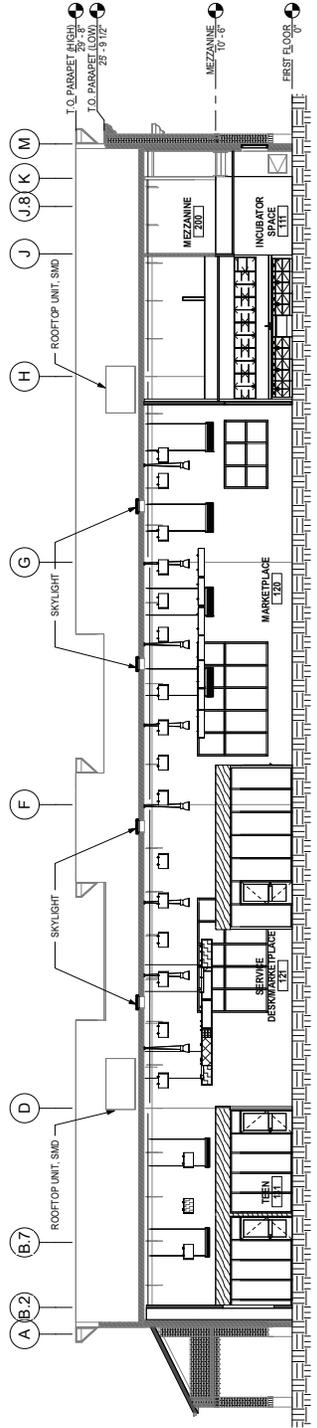
4 EEL - EAST - CHILDREN
 1/4" = 1'-0"

33 EEL - EAST - ADULT STAFF
 1/4" = 1'-0"

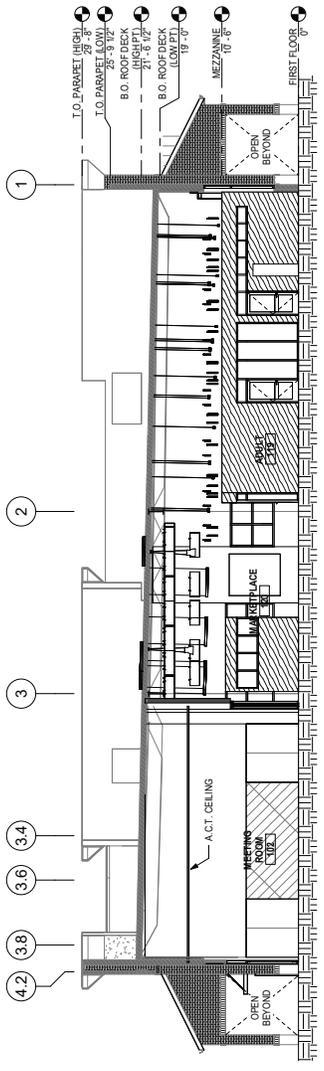


2 EEL - EAST - CHILDREN-FOL-ADULT
 1/4" = 1'-0"

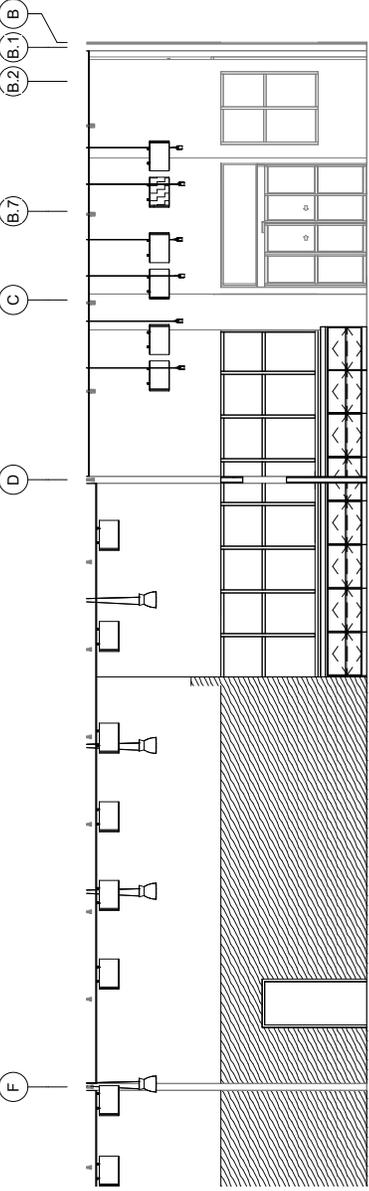
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2 BS-BUILDING SECTION @ GRID 2
 1/8" = 1'-0"



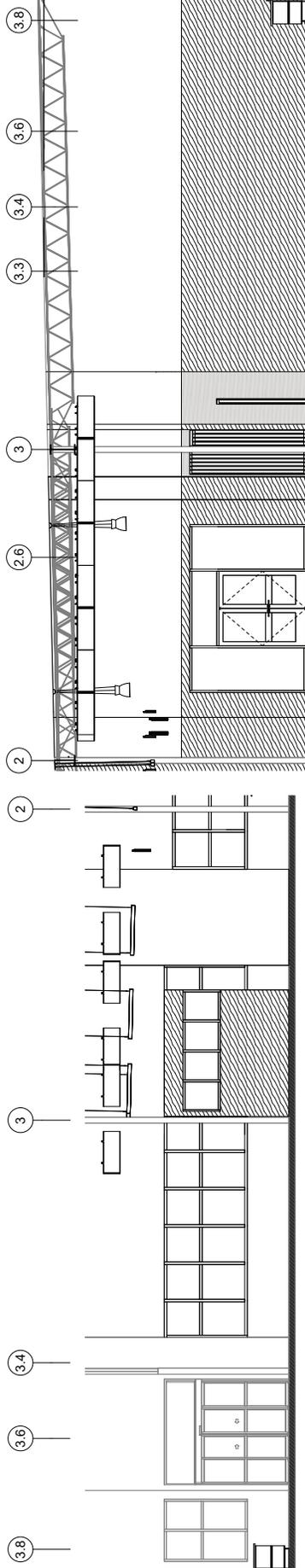
1 BS-BUILDING SECTION @ GRID F
 1/8" = 1'-0"



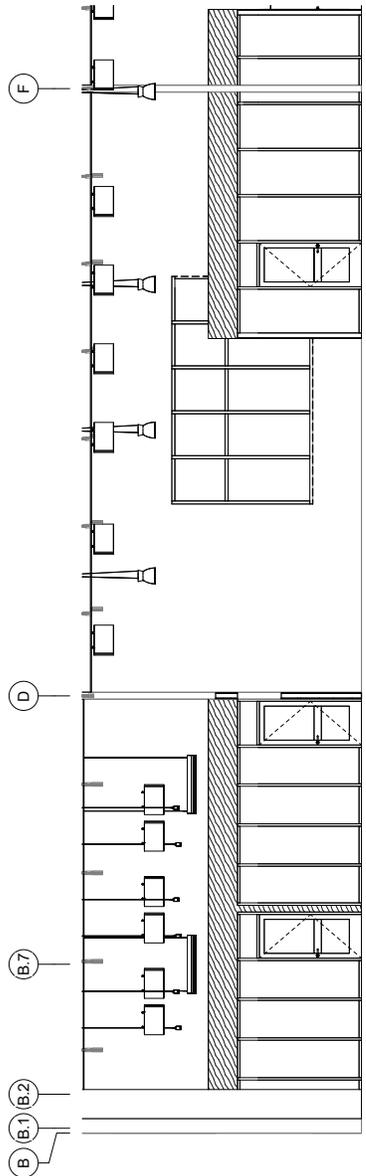
1 IE - ENTRY / MARKETPLACE 100 WEST
1/8" = 1'-0"

INTERIOR WALL FINISH LEGEND

- AWF1
- AWF2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- IMAGETIC MARKER BOARD



2 IE - ENTRY / MARKETPLACE 100 NORTH
1/8" = 1'-0"



3 IE - ENTRY / MARKETPLACE 100 EAST
1/8" = 1'-0"

KEYNOTE
NO. KEYNOTE TEXT



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**ELK GROVE
 LIBRARY RETROFIT**
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project No.:	220842
CA REG. NO.:	220842
PROJ. NO.:	220842
DATE:	08/01/2022
BY:	08/01/2022
CHECKED BY:	08/01/2022
DATE:	08/01/2022
PROJECT PACKAGE:	08/01/2022

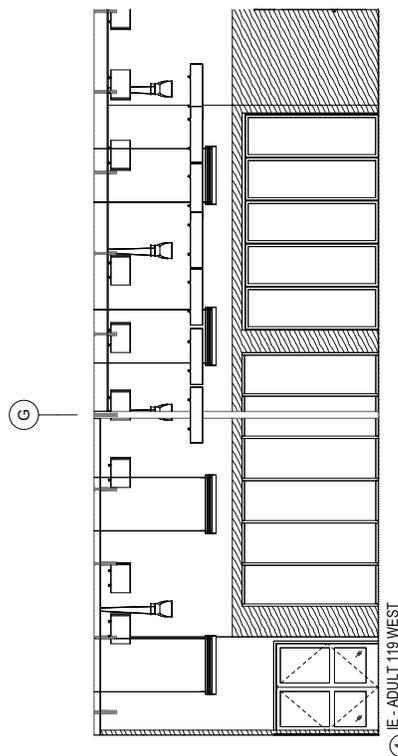
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SHEET TITLE AND NO.
 INTERIOR
 ELEVATIONS

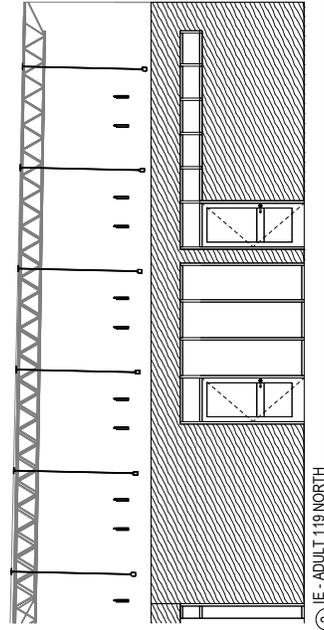
A5.0-2

INTERIOR WALL FINISH LEGEND

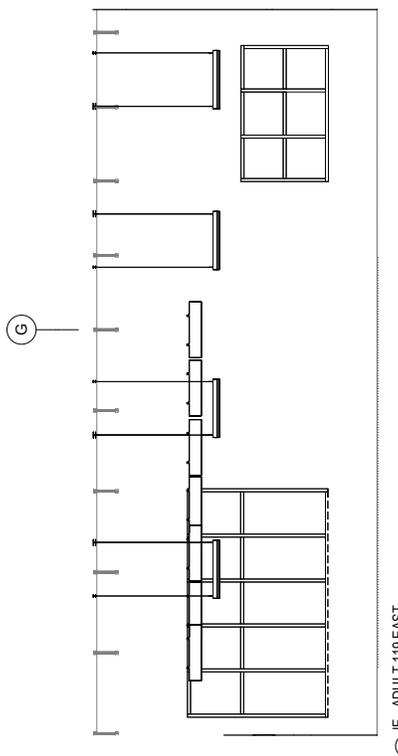
- AWF1
- AWF2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD



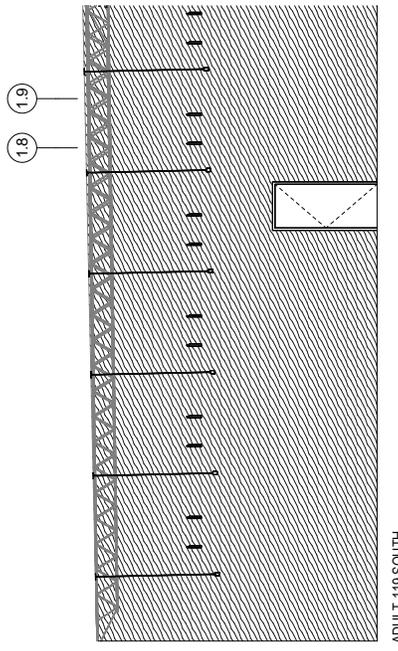
1 IE - ADULT 119 WEST
 1/8" = 1'-0"



2 IE - ADULT 119 NORTH
 1/8" = 1'-0"



3 IE - ADULT 119 EAST
 1/8" = 1'-0"



4 IE - ADULT 119 SOUTH
 1/8" = 1'-0"



GROUP 4
 ARCHITECTURE
 RESEARCH +
 PLANNING, INC
 211 LINDEN AVENUE
 SO. SAN FRANCISCO
 CA 94080 USA
 650-871-0709



ELK GROVE
LIBRARY RETROFIT
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project Arch: _____
 CA REG: 228842
 PROJECT: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT PACKAGE: 001/003

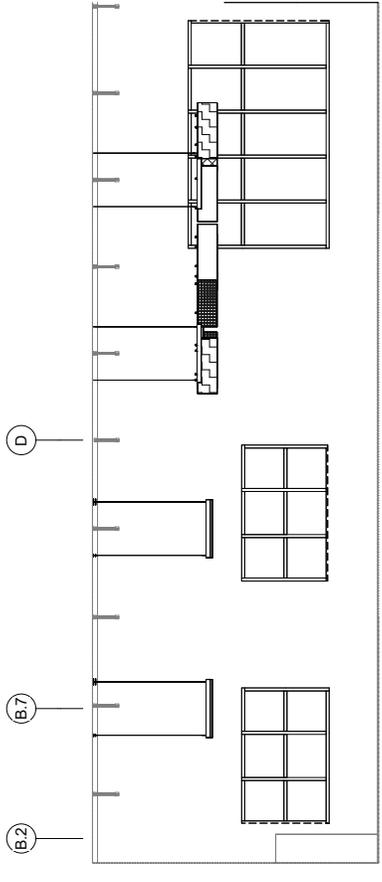
DRAFT FOR INTERNAL USE ONLY. NOT FOR CONSTRUCTION.

SHEET TITLE AND NO.
INTERIOR ELEVATIONS

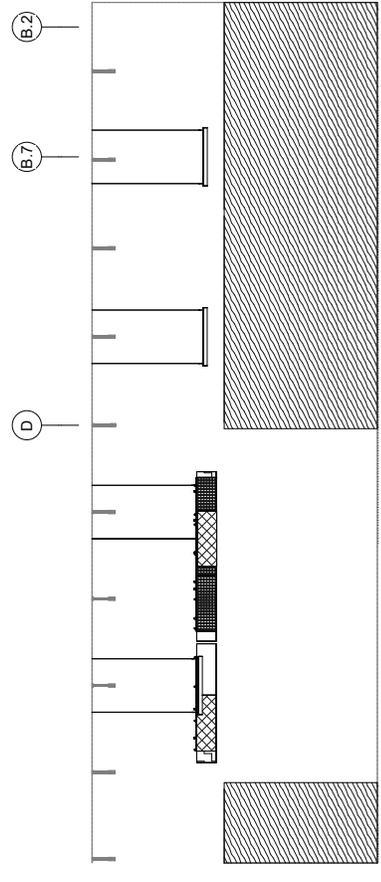
A5.0-3

INTERIOR WALL FINISH LEGEND

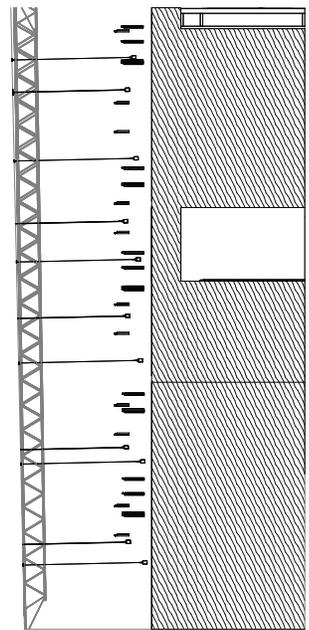
- AWF1
- AWF2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- IMAGETIC MARKER BOARD



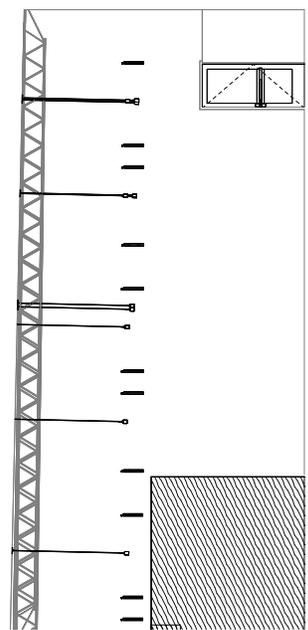
4 IE - CHILDREN 127 EAST
 1/8" = 1'-0"



2 IE - CHILDREN 127 WEST
 1/8" = 1'-0"



3 IE - CHILDREN 127 SOUTH
 1/8" = 1'-0"



1 IE - CHILDREN 127 NORTH
 1/8" = 1'-0"



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 650-871-0709



ELK GROVE
LIBRARY RETROFIT
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project Arch:		DWG	
Client:	2288-62	DATE	
Project:		PROJECT NO.	2288-62
		DATE	08/01/2022
		PROJECT PACKAGE	08/01/2022

**DRAFT FOR INTERNAL
 USE ONLY. NOT FOR
 CONSTRUCTION.**

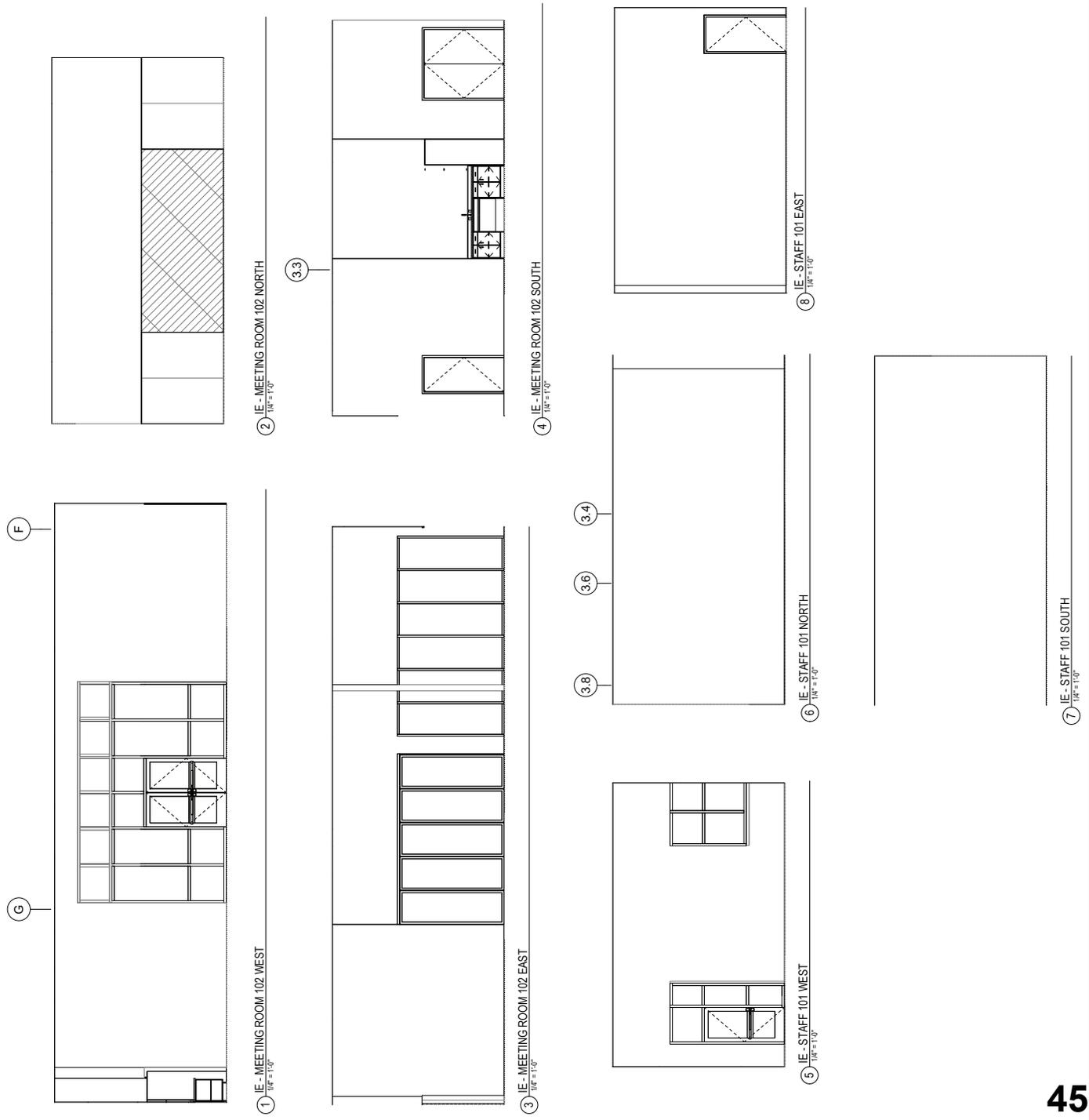
SHEET TITLE AND NO.
 INTERIOR
 ELEVATIONS

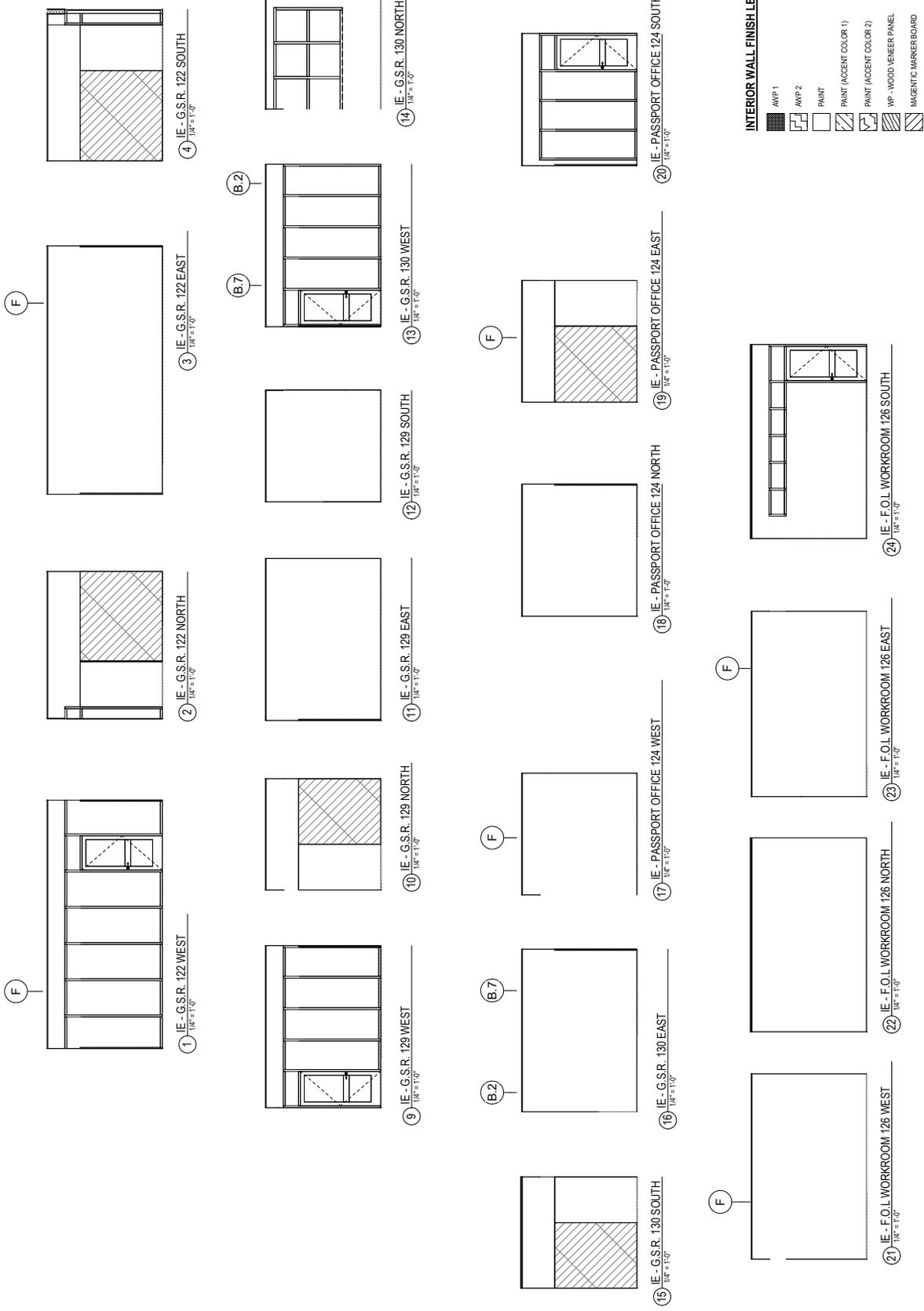
A5.0-4

INTERIOR WALL FINISH LEGEND

- AWP 1
- AWP 2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD

KEYNOTE
 NO. KEYNOTE TEXT





INTERIOR WALL FINISH LEGEND

- AWP 1
- AWP 2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGENTIC MARKER BOARD



GROUP 4
 ARCHITECTURE
 RESEARCH +
 PLANNING, INC
 211 LINDEN AVENUE
 SO. SAN FRANCISCO
 CA 94080 USA
 650-871-0709



ELK GROVE
 LIBRARY RETROFIT
 9260 ELK GROVE BLVD
 ELK GROVE
 CA 95624

Project Arch: _____
 CA REG: 226842
 PROJECT: _____
 DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT MANAGER: _____

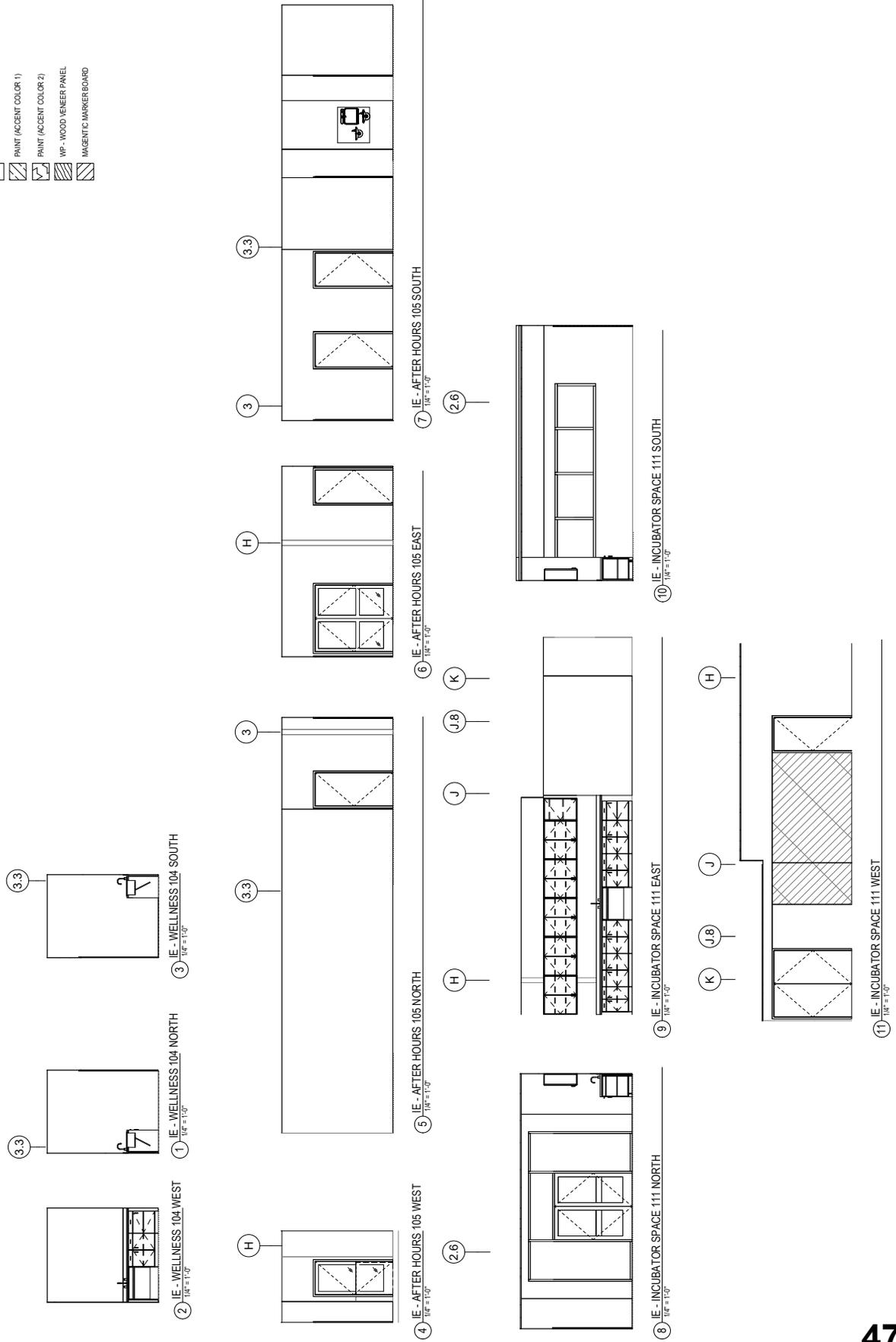
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 CONSTRUCTION.**

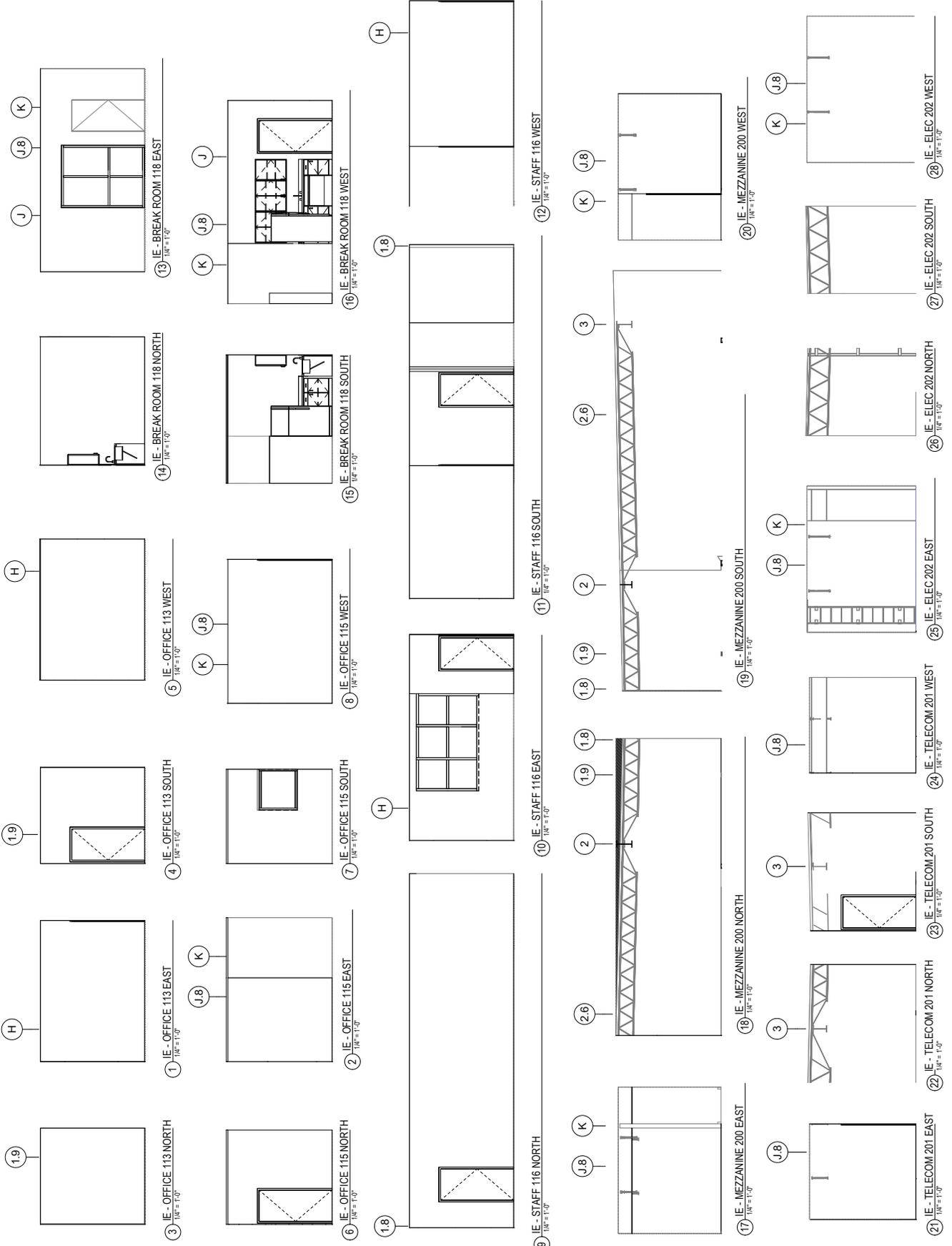
SHEET TITLE AND NO.
**INTERIOR
 ELEVATIONS**

A5.0-6

INTERIOR WALL FINISH LEGEND

- AWP1
- AWP2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD





DRAFT FOR INTERNAL USE ONLY. NOT FOR CONSTRUCTION.
 SHEET TITLE AND NO.
 REFLECTED CEILING PLAN - MEZZANINE

A6.0-3

SHEET NOTES

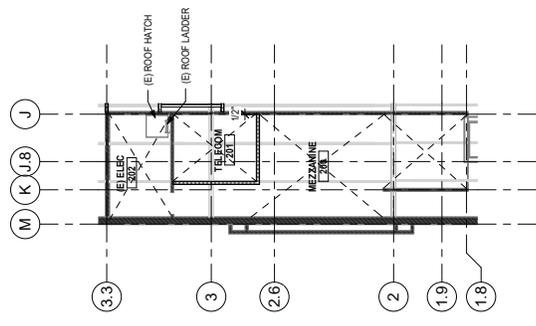
1. ALL NOTES STATED BELOW SHALL APPLY TO A6 SERIES UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
3. MECHANICAL, PLUMBING, CIVIL, ELECTRICAL & TELECOM LIGHTING & MECHANICAL FIXTURES SHOWN FOR CONSTRUCTION SHALL BE INSTALLED TO THE FULL EXTENTS OF FIXTURES, S.E.D. FOR COMPLETE QUANTITY & EXTENTS OF FIXTURES.
4. ALL EXPOSED BUILDING ELEMENTS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
5. EXPOSED SUBFLOOR SHALL BE PAINTED TO MATCH EXISTING SUBFLOOR FINISH OR BEARING SURFACE.

WALL TYPE LEGEND

- NEW WALL - INSULATED
- NEW WALL - UNINSULATED
- EXISTING WALL TO REMAIN

REFLECTED CEILING PLAN LEGEND

- ACT-1 2'x4' ACOUSTIC CEILING TILE
- ACT-2 2'x2' ACOUSTIC CEILING TILE
- G-1 GYPSUM BOARD CEILING
- EXPOSED STRUCTURE
- ACOUSTIC BAFFLES, INDIVIDUALLY SUSPENDED W/ AIRCRAFT CABLES



1. RCP02 - REFLECTED CEILING PLAN - MEZZANINE
1/8" = 1'-0"



Exhibit C: Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
On-Going				
1.	Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.	On-Going	Planning	
2.	This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.	On-Going	Planning	
3.	Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove, specifically including but not limited to the following: <ul style="list-style-type: none"> • The Old Town Special Planning Area • The Elk Grove Zoning Code (Title 23 of the EGMC) • EGMC Chapter 19.12 (Tree Preservation and Protection) • EGMC Chapter 14.10 (Water Efficient Landscape Requirements) 	On-Going	Planning Public Works	
4.	The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works. All street improvements shall include vertical curb and gutter, except as approved by Public Works, in which case street improvements shall include rolled curb and gutter. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans. Public sewer, water, and other utility infrastructure shall be designed and constructed in accordance with the standards of the appropriate utility.	On-Going	Public Works EGWD SASD SMUD PG&E	

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
5.	The Applicant shall pay all applicable plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SASD), Elk Grove Water District (EGWD), or other agencies or services providers as established by law.	On-Going	Planning Public Works CCSD EGWD SASD	
6.	Approval of this project does not relieve the Applicant from the applicable requirements of subsequent permits and approvals, including but not limited to the following as may be applicable: <ul style="list-style-type: none"> • Grading Permit and Improvement Plan • Building Permit and Certificate of Occupancy • Requirements of the Sacramento Metropolitan Air Quality Management District • Fire permit 	On-Going	Planning Public Works Building CCSD EGWD SASD	
7.	Landscaping and tree trimming shall be maintained so that it does not interfere with the operation of surveillance cameras or the lighting of the parking lot, walkways, and outdoor common areas. Trees overhanging the fire lane shall be maintained at 13 feet 6 inches of vertical clearance. Tree trimming shall be completed pursuant to EGMC 19.12 and overseen by a certified arborist.	On-Going	Police CCSD Fire Planning	
8.	Project shall maintain the "easement for future access" (located at the southwest corner of the project site) between parcel 134-0050-0001 and parcel 134-0072-011 for future development of a secondary fire access point for parcel 134-0072-011, when needed.	On-Going	CCSD Fire	
9.	Upon development of parcel 134-0072-011: A Fire Access Agreement between Cosumnes Community Services District and all parcels connected to and served by the fire access easement shall be provided. Fire Access Agreement shall be in a form acceptable to both Applicant and CCSD Fire and recorded with the Sacramento County Recorder.	On-Going	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
10.	<p>Upon development of parcel 134-0072-011: A Fire Access Roadway Maintenance Agreement (RMA) between Cosumnes Community Services District and all parcels connected to and served by the fire access roadway shall be provided. Fire Access Roadway Maintenance Agreement shall in a form acceptable to both Applicant and CCSD Fire and recorded with the Sacramento County Recorder. The roadway maintenance agreement shall include the following: https://www.cosumnescsd.gov/DocumentCenter/View/24139/CCSD-Road-Maintenance-Agreement-Must-be-notarized-PDF</p> <ol style="list-style-type: none"> a. Provisions for the necessary repair and maintenance of the roadway surface b. Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") or width of twenty feet (20') c. Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping d. Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems 	On-Going	CCSD Fire	
11.	The installation of on-site traffic calming devices such as but not limited to speed bumps, humps or other designs are prohibited unless approved by the fire code official.	On-Going	CCSD Fire	
12.	All fire and life safety systems, including but not be limited to, the fire sprinkler system and fire alarm system, shall be maintained in accordance with California Code of Regulations Title 19. Inspection, testing, and maintenance reports shall be submitted to the Cosumnes Fire Department online reporting system. https://www.cosumnescsd.gov/1291/Maintaining-Commercial-Fire-Systems	On-Going	CCSD Fire	

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
13.	SMUD has existing underground 12kV facilities along Elk Grove Blvd, Waterman Road and on the project parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.	On-Going	SMUD	
Prior To or In Conjunction With Improvement and/or Building Permit Submittal or Approval				
14.	The Planning Division shall be notified immediately if any prehistoric, archaeological, or paleontologic artifact is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to evaluate the finds and recommend appropriate action. A note stating the above shall be placed on the Improvement Plans.	Improvement Plan	Planning	
15.	All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed. A note stating the above shall be placed on the Improvement Plans.	Improvement Plans	Planning	
16.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. A SMUD specific easement will be required for electrical facilities dedicated for car chargers.	Improvement Plans	SMUD	
17.	In the event the Applicant requires the relocation or removal of existing SMUD facilities on the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.	Improvement Plans	SMUD	
18.	SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.	Improvement Plans	SMUD	

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
19.	The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).	Improvement Plans	SMUD	
20.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services	Improvement Plans	SMUD	
21.	A minimum of 5 bicycle racks shall be provided.	Improvement Plans	Planning	
22.	The Applicant shall install at least one speed bump, or other speed control device, in the parking lot such that drivers are discouraged from using the parking lot as a bypass of the intersection. The quantity, location and design of the speed control device(s) shall be to the satisfaction of the Development Services Director or City Engineer and CCSD Fire.	Improvement Plans	Engineering CCSD Fire	
Prior to or In Conjunction with Building Permit Submittal or Issuance/Approval				
23.	The Applicant shall prepare and submit for review and approval, prior to Building Permit issuance, a Photometric Study, documenting the nighttime illumination of the site from on-site light fixtures, including both freestanding (e.g., parking lot) and building attached fixtures. The Photometric Study and proposed lighting plan shall comply with the illumination requirements of EGMC Chapter 23.56 (Lighting).	Building Permit	Planning Police	
24.	All seat walls shall be designed and constructed with dividers that prevent loitering.	Building Permit	Planning Police	
25.	To further discourage loiterers, a minimum of two signs shall be posted in the parking lot area that prohibits loitering. These signs shall be in an area where they are clearly visible during nighttime hours, and they shall reference Elk Grove Municipal Code (EGMC) 9.12.010 – Prohibited Loitering.	Building Permit	Police	

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
26.	Final design of the "Library of Things" shed shall be to the satisfaction of the Development Services Director. The shed and immediate surroundings shall be designed to provide natural surveillance and visibility to prevent ambush points and loitering areas. The shed shall be locked at all times when not being accessed to prevent theft. On-site security cameras shall be located to provide monitoring of the shed at all times.	Building Permit	Planning Police	
27.	Final design of the Book Locker and Shelter shall be to the satisfaction of the Development Services Director.	Building Permit	Planning	
28.	The Applicant shall prepare and submit for review and approval, prior to Building Permit issuance, a final Landscape Plan, to the satisfaction of the Development Services Director, that identifies all landscape improvements to be completed.	Building Permit	Planning	
<u>Prior to Certificate of Occupancy</u>				
29.	Approved radio coverage for emergency responders shall be provided. A test conducted by a licensed contractor shall be performed at building or project completion to determine if the public safety communication system is adequate for emergency responder radio coverage. Buildings that cannot support the required level of radio coverage shall install a distributed antenna system with FCC certified signal boosters subject to Cosumnes Fire Department review and approval.	Certificate of Occupancy	CCSD Fire	

##

Interoffice Memorandum



August 31, 2023

Date

Darren Wilson, PE, Development Services Director

From

Similar Use Determination – Elk Grove Library Relocation

Subject

The City proposes to relocate the Elk Grove Library to 9260 Elk Grove Boulevard, APN 134-0050-001. The Project site is located within the Old Town Special Planning Area (OTSPA) and is designated Commercial.

Table 2 of the OTSPA lists the permitted and conditionally permitted land uses within the SPA. Line 14 lists “Commercial-Cultural”, which is described as “including art galleries and museums.” Libraries are not specifically listed in this Line or in any other Line of Table 2.

Footnote 8 of Table 2 of the OTSPA provides a process for determining a proposed use is substantially similar to another use listed within the SPA. The OTSPA provides that the designated approving authority for similar use determinations is the Development Services Director. This is an administrative function and no public hearing or notice is required. Three factors must be considered in order to approve a similar use determination, which are described in more detail below.

Upon review, the Development Services Director has determined that a Library is a similar use to the “Commercial-Cultural” allowed use listing in the OTSPA. The characteristics of the use are of equivalent intensity to a museum or art gallery, in that it provides for a gathering of people to visit and view materials, learn, and engage in cultural activities or functions. This use is also consistent with the intent of the OTSPA, which is to serve as a “cultural center of the community” and that is recognized for its “central location to the greater Elk Grove community” (Vision, page vi). As an additional reference, the existing Elk Grove Library is also located within the OTSPA on a site designated Commercial, and libraries are allowed by right in the City’s other commercial zoning districts (e.g., LC, GC, SC), providing a reference point when considering other uses that may be allowed in the OTSPA.

Therefore, the Development Services Director can make the following required findings.

Finding #1: The extent to which the proposed use would meet the objectives and goals of the Old Town SPA to encourage pedestrian-oriented retail, restaurant, and office uses.

Evidence #1: This use is consistent with the intent of the OTSPA, which is to serve as a “cultural center of the community” and that is recognized for its “central location to the

ATTACHMENT 2

greater Elk Grove community” (Vision, page vi). A library is a cultural amenity and service where people gather and engage in various civic activities.

Finding #2: The extent to which the proposed use would be compatible with the uses currently permitted in the Commercial Zone under Table 2.

Evidence #2: The characteristics of the use are of equivalent intensity to a museum or art gallery, in that it provides for a gathering of people to visit and view materials, learn, and engage in cultural activities or functions. A library is already located within Old Town, providing a precedent condition.

Finding #3: The ability of the City to condition the operation of such uses to adequately mitigate any potential inconsistencies with the objectives and goals of the OTSPA and operation of uses currently permitted in the Commercial Zone and the commercial component for mixed-use developments as permissible within Multi-Family Zones identified in Table 2.

Evidence #3: As described, the use is consistent with the OTSPA. No conditions are necessary to address any potential inconsistencies with the objectives and goals of the OTSPA.

City of Elk Grove – City Council

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that on **Wednesday, October 25, 2023**, at the hour of **6:00 p.m.**, or as soon thereafter as the matter may be heard, the Elk Grove City Council will conduct a public hearing at City Hall in the Council Chambers, 8400 Laguna Palms Way, Elk Grove, California, to consider the following matter:

Elk Grove Library Relocation (WFC046) – Capital Improvement Program Design Review

The proposed Project consists of a Capital Improvement Program Design Review for the remodel of an existing ±18,147 square foot retail building for occupancy as the Elk Grove Library. The existing library at 8900 Elk Grove Boulevard would, upon completion of the proposed improvements, relocate operations to the Project site. The proposed renovations include the addition of various doors and windows to the exterior of the building, repainting of the structure, and various improvements to the Project site, including addition of patio spaces, electric vehicle charging infrastructure, and a shed for storage of a library of things.

The Planning Commission reviewed this matter at their special meeting on September 25, 2023 and voted 3-0 (Commissioners Poole and Singha absent) to recommend approval to the City Council, subject to additional conditions requiring additional bike parking and the installation of at least one speed bump in the parking lot.

PROPERTY OWNER/PROJECT APPLICANT:

City of Elk Grove
Jason Behrmann, Representative
8401 Laguna Palms Way
Elk Grove, CA 95758

PROJECT AGENT:

City of Elk Grove
Samuel Grimm, Representative
8401 Laguna Palms Way
Elk Grove, CA 95758

LOCATION: 9260 Elk Grove Boulevard

APNs: 134-0050-001

ZONING: Old Town Special Planning Area, Commercial

ENVIRONMENTAL: Exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of Title 14 of the California Code of Regulations (State CEQA Guidelines)

Information or questions regarding this item should be referred to Christopher Jordan, AICP, (916) 478-2222, or to the office of Strategic Planning and Innovation, 8401 Laguna Palms Way, Elk Grove, CA, 95758. All interested persons are invited to present their views and comments on this matter. Written statements may be filed with the City Clerk at any time prior to the close of the hearing scheduled herein, and oral statements may be made at said hearing.

If you challenge the subject matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the City Clerk, 8401 Laguna Palms Way, Elk Grove, CA, 95758, at or prior to the close of the public hearing.

This meeting notice is provided pursuant to Section 23.14.040 of Title 23 of the Elk Grove Municipal Code.

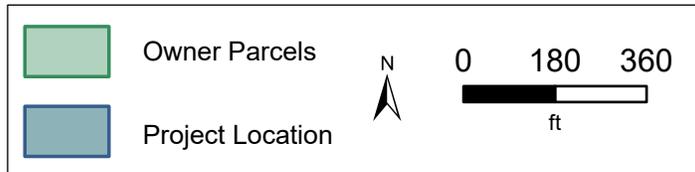
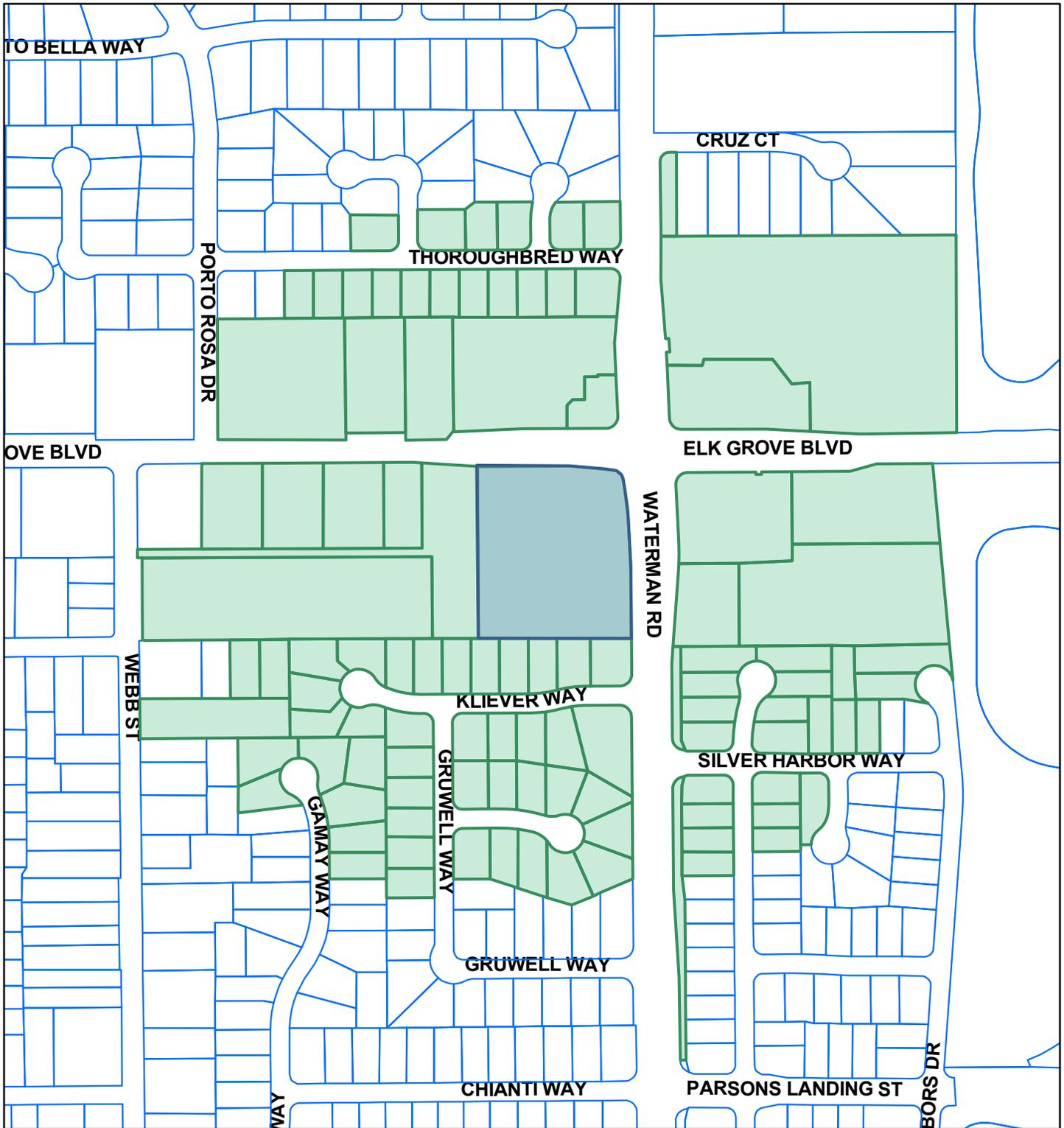
Dated/Published: October 13, 2023

JASON LINDGREN
CITY CLERK, CITY OF ELK GROVE

ADA COMPLIANCE STATEMENT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Office of the City Clerk at (916) 478-3635. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Elk Grove Library Relocation - WFC046 - 500 feet



APN	ADDRESS	CITY	STATE	ZIP
13406100100000	1717 MAIN ST 2000	DALLAS	TX	75201
13409000210000	90 EDGEMAR ST	DALY CITY	CA	94014
12701700450000	9242 THOROUGHbred WAY	ELK GROVE	CA	95624
13406100390000	9283 BRILES CT	ELK GROVE	CA	95624
13400840250000	9250 KLIEVER WAY	ELK GROVE	CA	95624
13406100350000	9282 BRILES CT	ELK GROVE	CA	95624
12701700460000	9238 THOROUGHbred WAY	ELK GROVE	CA	95624
13409000490000	9619 LITTLE HARBOR CT	ELK GROVE	CA	95624
13400840410000	4285 PAYNE AVE 701221	SAN JOSE	CA	95117
13400840450000	9659 GAMAY WAY	ELK GROVE	CA	95624
13409000560000	27452 CALLE ARROYO	SAN JUAN CAPISTRANO	CA	92675
12701700350000	9464 LAGUNA CREEK DR	ELK GROVE	CA	95624
13400840460000	9663 GAMAY WAY	ELK GROVE	CA	95624
13406100420000	9271 BRILES CT	ELK GROVE	CA	95624
13406100120000	9642 GRUWELL WAY	ELK GROVE	CA	95624
13401101320000	630 W GERMANTOWN PIKE	PLYMOUTH MEETING	PA	19462
13409000600000	3000 LAVA RIDGE CT 130	ROSEVILLE	CA	95661
13406100340000	9699 WEBB ST	ELK GROVE	CA	95624
12701700160000	9568 DAPPLE CT	ELK GROVE	CA	95624
13400840140000	9643 WEBB ST	ELK GROVE	CA	95624
13406100080000	9259 KLIEVER WAY	ELK GROVE	CA	95624
13400840440000	9655 GAMAY WAY	ELK GROVE	CA	95624
13409000200000	4401 HAZEL AVE 135	FAIR OAKS	CA	95628
12701700050000	PO BOX 636	ELK GROVE	CA	95759
12701700380000	9270 THOROUGHbred WAY	ELK GROVE	CA	95624
13409000440000	5809 S 172ND ST	OMAHA	NE	68135
13406100040000	9275 KLIEVER WAY	ELK GROVE	CA	95624
12701700270000	9263 THOROUGHbred WAY	ELK GROVE	CA	95624
13406100370000	9291 BRILES CT	ELK GROVE	CA	95624
13406100400000	36710 KELLER LN	SPRINGFIELD	OR	97478
13409000450000	9614 LITTLE HARBOR CT	ELK GROVE	CA	95624
13406100130000	12214 WATERSong LN	WILTON	CA	95693
13409000460000	9610 LITTLE HARBOR CT	ELK GROVE	CA	95624
13406100360000	9286 BRILES CT	ELK GROVE	CA	95624
13406100410000	9316 MOYNELLO CT	ELK GROVE	CA	95624
13406100020000	9283 KLIEVER WAY	ELK GROVE	CA	95624
12701500790000	1500 STANDIFORD AVE D	MODESTO	CA	95350
13400840600000	9635 WEBB ST	ELK GROVE	CA	95624
13400840270000	9251 KLIEVER WAY	ELK GROVE	CA	95624
13409000160000	9642 LITTLE HARBOR WAY	ELK GROVE	CA	95624
13409000190000	2300 CAMELLIA CT	FREMONT	CA	94539
12701700390000	9266 THOROUGHbred WAY	ELK GROVE	CA	95624
13400840380000	9652 GAMAY WAY	ELK GROVE	CA	95624
13409000510000	9329 SILVER HARBOR WAY	ELK GROVE	CA	95624
13406100140000	9650 GRUWELL WAY	ELK GROVE	CA	95624
13406100110000	9638 GRUWELL WAY	ELK GROVE	CA	95624
13406100450000	5033 STROMAN LN	SACRAMENTO	CA	95835
12701700260000	9569 DAPPLE CT	ELK GROVE	CA	95624
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13400840430000	9645 GAMAY WAY	ELK GROVE	CA	95624
13409000520000	9333 SILVER HARBOR WAY	ELK GROVE	CA	95624
13409000430000	9622 LITTLE HARBOR CT	ELK GROVE	CA	95624
13406100090000	9630 GRUWELL WAY	ELK GROVE	CA	95624
12701700730000	425 HARBOR BLVD D	BELMONT	CA	94002
13409000180000	5311 37TH AVE	SACRAMENTO	CA	95824
13409000170000	9638 LITTLE HARBOR WAY	ELK GROVE	CA	95624

APN	ADDRESS	CITY	STATE	ZIP
13400720120000	9037 EL ORO PLAZA DR	ELK GROVE	CA	95624
13400720190000	846 E DANA ST	MOUNTAIN VIEW	CA	94041
12701700440000	8855 MINNIE CIR	ELK GROVE	CA	95624
13406100320000	5244 DIABLO DR	SACRAMENTO	CA	95842
12701700360000	9278 THOROUGHbred WAY	ELK GROVE	CA	95624
13406100070000	6412 AGUA VIS	RANCHO MURIETA	CA	95683
12701700030000	4809 LAGUNA BLVD 90	ELK GROVE	CA	95758
12701700370000	9274 THOROUGHbred WAY	ELK GROVE	CA	95624
13406100050000	9271 KLIEVER WAY	ELK GROVE	CA	95624
12701700340000	9275 THOROUGHbred WAY	ELK GROVE	CA	95624
13409000500000	9623 LITTLE HARBOR CT	ELK GROVE	CA	95624
12701500780000	PO BOX 15618	SACRAMENTO	CA	95852
13400720110000	3910 COVER ST	LONG BEACH	CA	90808
13409000570000	9610 TWO HARBORS CT	ELK GROVE	CA	95624
13409000220000	9639 LITTLE HARBOR WAY	ELK GROVE	CA	95624
13406100440000	9272 KLIEVER WAY	ELK GROVE	CA	95624
12701700420000	9254 THOROUGHbred WAY	ELK GROVE	CA	95624
13409000530000	9337 SILVER HARBOR WAY	ELK GROVE	CA	95624
13409000470000	9611 LITTLE HARBOR CT	ELK GROVE	CA	95624
13406100430000	9268 KLIEVER WAY	ELK GROVE	CA	95624
13406100030000	9279 KLIEVER WAY	ELK GROVE	CA	95624
13409000420000	9328 SILVER HARBOR WAY	ELK GROVE	CA	95624
12701700430000	684 SAN JUAN ST	STANFORD	CA	94305
13409000590000	827 7TH ST 301	SACRAMENTO	CA	95814
13401101350000	2295 IRON POINT RD 100	FOLSOM	CA	95630
13400840260000	9246 KLIEVER WAY	ELK GROVE	CA	95624
12701700280000	9267 THOROUGHbred WAY	ELK GROVE	CA	95624
13406100460000	9280 KLIEVER WAY	ELK GROVE	CA	95624
12701700400000	329 NORWICH AVE	MILPITAS	CA	95035
12701700410000	9298 ELDER CREEK RD	SACRAMENTO	CA	95829
13400840420000	PO BOX 1794	KREMMLING	CO	80459
13400840280000	9255 KLIEVER WAY	ELK GROVE	CA	95624
13406100060000	9275 EDISTO WAY	ELK GROVE	CA	95758
13406100380000	9287 BRILES CT	ELK GROVE	CA	95624
13406100330000	PO BOX 752	MILLBRAE	CA	94030
13406100470000	9290 KLIEVER WAY	ELK GROVE	CA	95624
12701700030000	9241 ELK GROVE BLVD	ELK GROVE	CA	95624
12701700440000	9246 THOROUGHbred WAY	ELK GROVE	CA	95624
12701700030000	9247 ELK GROVE BLVD	ELK GROVE	CA	95624
13400720120000	9248 ELK GROVE BLVD	ELK GROVE	CA	95624
12701700030000	9249 ELK GROVE BLVD	ELK GROVE	CA	95624
12701700430000	9250 THOROUGHbred WAY	ELK GROVE	CA	95624
12701700030000	9251 ELK GROVE BLVD	ELK GROVE	CA	95624
13400720190000	9252 ELK GROVE BLVD CH	ELK GROVE	CA	95624
12701700030000	9253 ELK GROVE BLVD	ELK GROVE	CA	95624
12701700030000	9255 ELK GROVE BLVD	ELK GROVE	CA	95624
12701700050000	9257 ELK GROVE BLVD	ELK GROVE	CA	95624
12701700410000	9258 THOROUGHbred WAY	ELK GROVE	CA	95624
12701700400000	9262 THOROUGHbred WAY	ELK GROVE	CA	95624
13406100070000	9263 KLIEVER WAY	ELK GROVE	CA	95624
13406100060000	9267 KLIEVER WAY	ELK GROVE	CA	95624
13406100320000	9270 BRILES CT	ELK GROVE	CA	95624
12701700530000	9271 ELK GROVE BLVD	ELK GROVE	CA	95624
13406100330000	9274 BRILES CT	ELK GROVE	CA	95624
13406100410000	9275 BRILES CT	ELK GROVE	CA	95624
13406100450000	9276 KLIEVER WAY	ELK GROVE	CA	95624

APN	ADDRESS	CITY	STATE	ZIP
13406100340000	9278 BRILES CT	ELK GROVE	CA	95624
13406100400000	9279 BRILES CT	ELK GROVE	CA	95624
12701700350000	9279 THOROUGHbred WAY	ELK GROVE	CA	95624
12701700720000	9285 ELK GROVE BLVD	ELK GROVE	CA	95624
13406100010000	9287 KLIEVER WAY	ELK GROVE	CA	95624
12701700730000	9289 ELK GROVE BLVD	ELK GROVE	CA	95624
13401101320000	9304 ELK GROVE BLVD 130	ELK GROVE	CA	95624
13401101320000	9304 ELK GROVE BLVD 140	ELK GROVE	CA	95624
13401101320000	9304 ELK GROVE BLVD 150	ELK GROVE	CA	95624
13401101320000	9304 ELK GROVE BLVD 160	ELK GROVE	CA	95624
13401101320000	9308 ELK GROVE BLVD 100	ELK GROVE	CA	95624
13401101320000	9308 ELK GROVE BLVD 110	ELK GROVE	CA	95624
13401101320000	9308 ELK GROVE BLVD 120	ELK GROVE	CA	95624
13401101350000	9312 ELK GROVE BLVD	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 150	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 155	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 160	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 165	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 170	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 172	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 175	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 180	ELK GROVE	CA	95624
13401101340000	9320 ELK GROVE BLVD 185	ELK GROVE	CA	95624
13401101330000	9328 ELK GROVE BLVD 100	ELK GROVE	CA	95624
13401101330000	9328 ELK GROVE BLVD 105	ELK GROVE	CA	95624
13401101340000	9328 ELK GROVE BLVD 110	ELK GROVE	CA	95624
13401101340000	9328 ELK GROVE BLVD 120	ELK GROVE	CA	95624
13401101340000	9328 ELK GROVE BLVD 140	ELK GROVE	CA	95624
13401101330000	9332 ELK GROVE BLVD 100	ELK GROVE	CA	95624
13401101330000	9332 ELK GROVE BLVD 110	ELK GROVE	CA	95624
13401101330000	9332 ELK GROVE BLVD 120	ELK GROVE	CA	95624
12701500790000	9385 ELK GROVE BLVD 100	ELK GROVE	CA	95624
12701500790000	9385 ELK GROVE BLVD 200	ELK GROVE	CA	95624
12701500790000	9385 ELK GROVE BLVD 300	ELK GROVE	CA	95624
12701500790000	9385 ELK GROVE BLVD 400	ELK GROVE	CA	95624
12701500790000	9385 ELK GROVE BLVD 500	ELK GROVE	CA	95624
12701500790000	9385 ELK GROVE BLVD 600	ELK GROVE	CA	95624
12701500780000	9435 ELK GROVE BLVD	ELK GROVE	CA	95624
13409000560000	9614 TWO HARBORS CT	ELK GROVE	CA	95624
13409000480000	9615 LITTLE HARBOR CT	ELK GROVE	CA	95624
13409000440000	9618 LITTLE HARBOR CT	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 1	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 10	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 11	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 12	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 13	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 14	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 15	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 16	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 17	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 18	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 19	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 2	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 20	ELK GROVE	CA	95624

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13400720190000	9621 WEBB ST 21	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 22	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 23	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 24	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 25	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 26	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 27	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 28	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 29	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 3	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 30	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 31	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 32	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 33	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 34	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 35	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 36	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 37	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 38	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 39	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 4	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 40	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 41	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 42	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 43	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 44	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 45	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 46	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 47	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 48	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 5	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 6	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 7	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 8	ELK GROVE	CA	95624
13400720190000	9621 WEBB ST 9	ELK GROVE	CA	95624
13400840600000	9627 LOUCLARE LN	ELK GROVE	CA	95624
13409000190000	9630 LITTLE HARBOR WAY	ELK GROVE	CA	95624
13409000420000	9630 TOYON BAY CT	ELK GROVE	CA	95624
13409000200000	9631 LITTLE HARBOR WAY	ELK GROVE	CA	95624
13400840610000	9631 LOUCLARE LN	ELK GROVE	CA	95624
13406100100000	9634 GRUWELL WAY	ELK GROVE	CA	95624
13409000180000	9634 LITTLE HARBOR WAY	ELK GROVE	CA	95624
13409000210000	9635 LITTLE HARBOR WAY	ELK GROVE	CA	95624
13400840410000	9640 GAMAY WAY	ELK GROVE	CA	95624
13400840420000	9641 GAMAY WAY	ELK GROVE	CA	95624
13406100130000	9646 GRUWELL WAY	ELK GROVE	CA	95624
13406100470000	9646 WATERMAN RD	ELK GROVE	CA	95624

OWNER	CONTACT	ADDRESS	CITY	STATE	ZIP
AT&T	Astrid Willard	2700 Watt Ave Rm 3473-11	Sacramento	CA	95821
CA Dept. of Fish and Wildlife	Tanya Sheya	1701 Nimbus Rd., Ste. A	Rancho Cordova	CA	95670
Caltrans District 3, Planning and Local Assistance	Doug Adams	703 B Street	Marysville	CA	95901
Cosumnes Fire Department	Morgana Yahneke	10573 E. Stockton Blvd.	Elk Grove	CA	95624
Cosumnes Parks & Recreation	Paul Mewton	8820 Elk Grove Blvd. Ste. #3	Elk Grove	CA	95624
CRWQCB	Liz Lee	11020 Sun Center Dr. #200	Rancho Cordova	CA	95670-6114
Elk Grove Unified School District	Pham Saechao; Christopher Bohrer	9510 Elk Grove-Florin Road	Elk Grove	CA	95626
Elk Grove Water Services	Bruce Camilos	9257 Elk Grove Blvd.	Elk Grove	CA	95624
Frontier	Kirby Bernard	9260 E. Stockton Blvd	Elk Grove	CA	95624
Pacific Gas & Electric	Adam Egbert	12840 Bill Clark Way	Auburn	CA	95602-9527
Sacramento County Water Agency	Bob Gardner; Bob Steeg	827 Seventh Street Rm 301	Sacramento	CA	95814
Sacramento Area Sewer District	Amandeep Singh	10060 Goethe Road	Sacramento	CA	95827
SMUD	Rob Ferrara	6201 S Street, MS B203	Sacramento	CA	95817
SMUD	Yujean Kim	6201 S Street	Sacramento	CA	95817
Adam Broadwell Joseph & Cardoza	Janet Laurain	601 Gateway Boulevard, Suite 1000	South San Francisco	CA	94080-7037
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Hock Construction Management, Inc	Les Hock	10630 Mather Blvd.	Sacramento	CA	95655
J. P. Morgan	J.P. Morgan	2217 Raindance Drive	Roseville	CA	95747
John Jaeger	John Jaeger	9543 Roblin Court	Elk Grove	CA	95758
Lozeau Drury LLP	Michael Lozeau Hanna Hughes Sophie Roberts	1939 Harrison Street, Suite 150	Oakland	CA	94612
MerloneGeier Partners	Gary S Mujjat	3191 Zinfandel Drive, Suite 23	Rancho Cordova	CA	95670
Northern California Carpenters	Katie Boyd	265 Hegenberger Rd., Suite 220	Oakland	CA	94621
Richland Planned Communities	Aaron Ross-Swain	3000 Lava Ridge Ct., Ste 115	Roseville	CA	95661
Ring Hunter Holland & Schenone	Justin J. Schmitzler	985 Moraga Road, Suite 210	Lafayette	CA	94549
Taylor & Wiley	Matt Keasling	500 Capitol Mall Suite 1150	Sacramento	CA	95814
Taylor Morrison	Jay Pawlek	81 Blue Ravine Rd. Suite 220	Folsom	CA	95630
Kevin Johnston	Kevin Johnston	2476 Buena Vista Avenue	Livermore	CA	94550
Native American Heritage Commission	Pricilla Torres -Fuentes	1550 Harbor Boulevard, Suite 100	West Sacramento	CA	95691