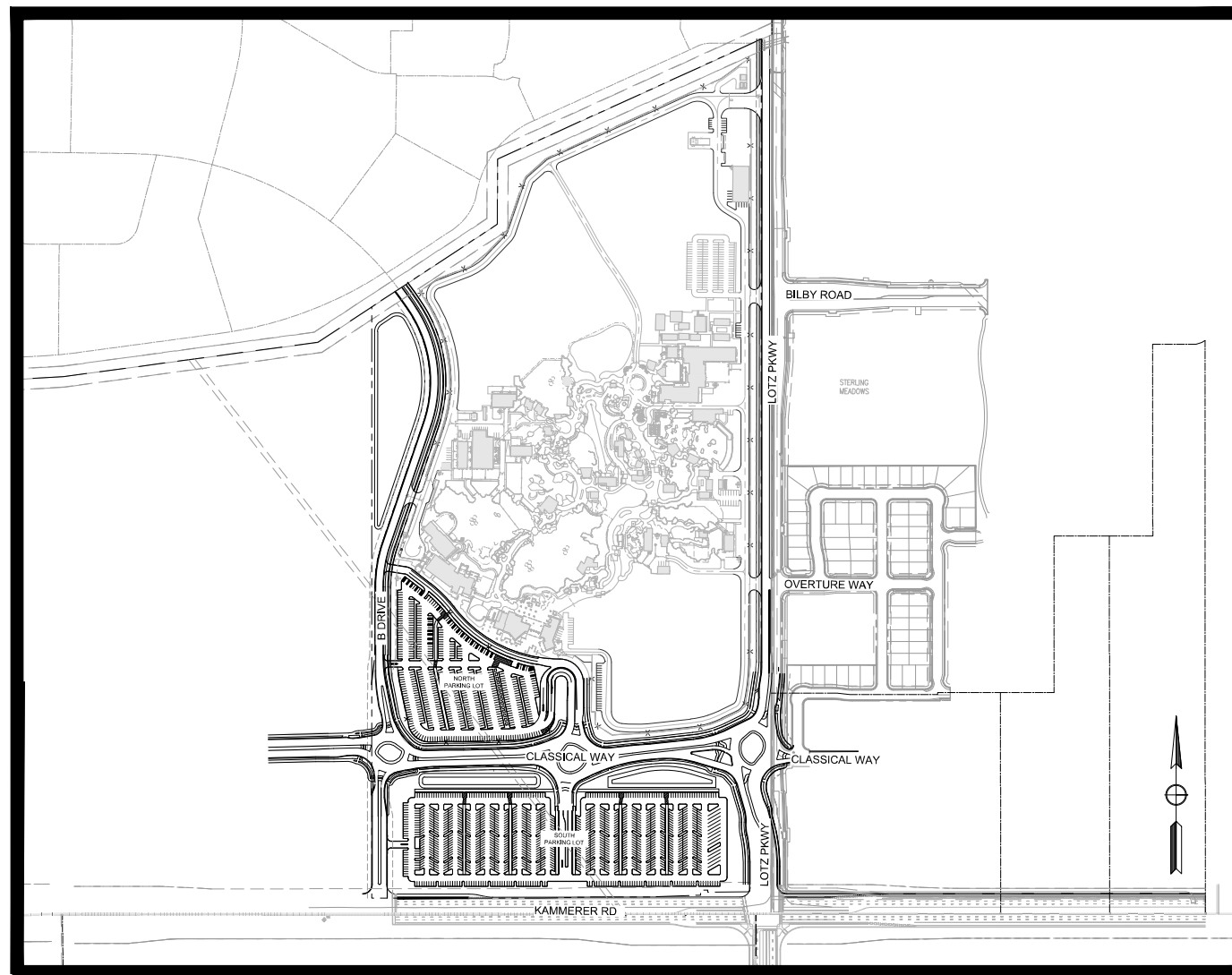


LOCATION MAP

NTS



Sacramento Zoological Society  
300 W. Land Park Drive  
Sacramento, CA USA



SHR Studios  
250 Madrona Way N.E. #220  
Bainbridge Island, WA 98110  
phone (206) 842-8332  
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REV. DATE	DESCRIPTION
1 09/27/2023	For Review
2 10/06/2023	For Pricing

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C-000	INDEX SHEET
C-001	ALTA SURVEY
C-002	ALTA SURVEY
C-100	VEHICULAR ACCESS - CIRCULATION PLAN
C-200	PARKING LOT LAYOUT PLAN
C-300	FIRE PLAN
C-400	OVERALL UTILITY PLAN
C-401	UTILITY PLAN
C-402	UTILITY PLAN
C-500	OVERALL STORMWATER PLAN
C-501	STORMWATER PLAN
C-502	STORMWATER PLAN
C-601	STORMWATER QUALITY PLAN - PHASE 1B
C-602	STORMWATER QUALITY PLAN - FULL BUILD OUT
C-700	MASS GRADING EXHIBIT - PHASE 1B

NOT FOR CONSTRUCTION

The New Zoo at Elk Grove

INDEX SHEET

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
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SHEET:

C-000

Schematic Plans





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ALTA SURVEY

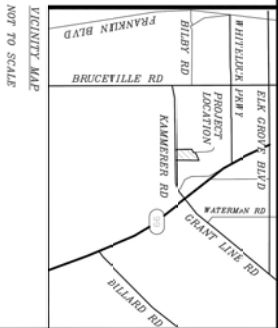
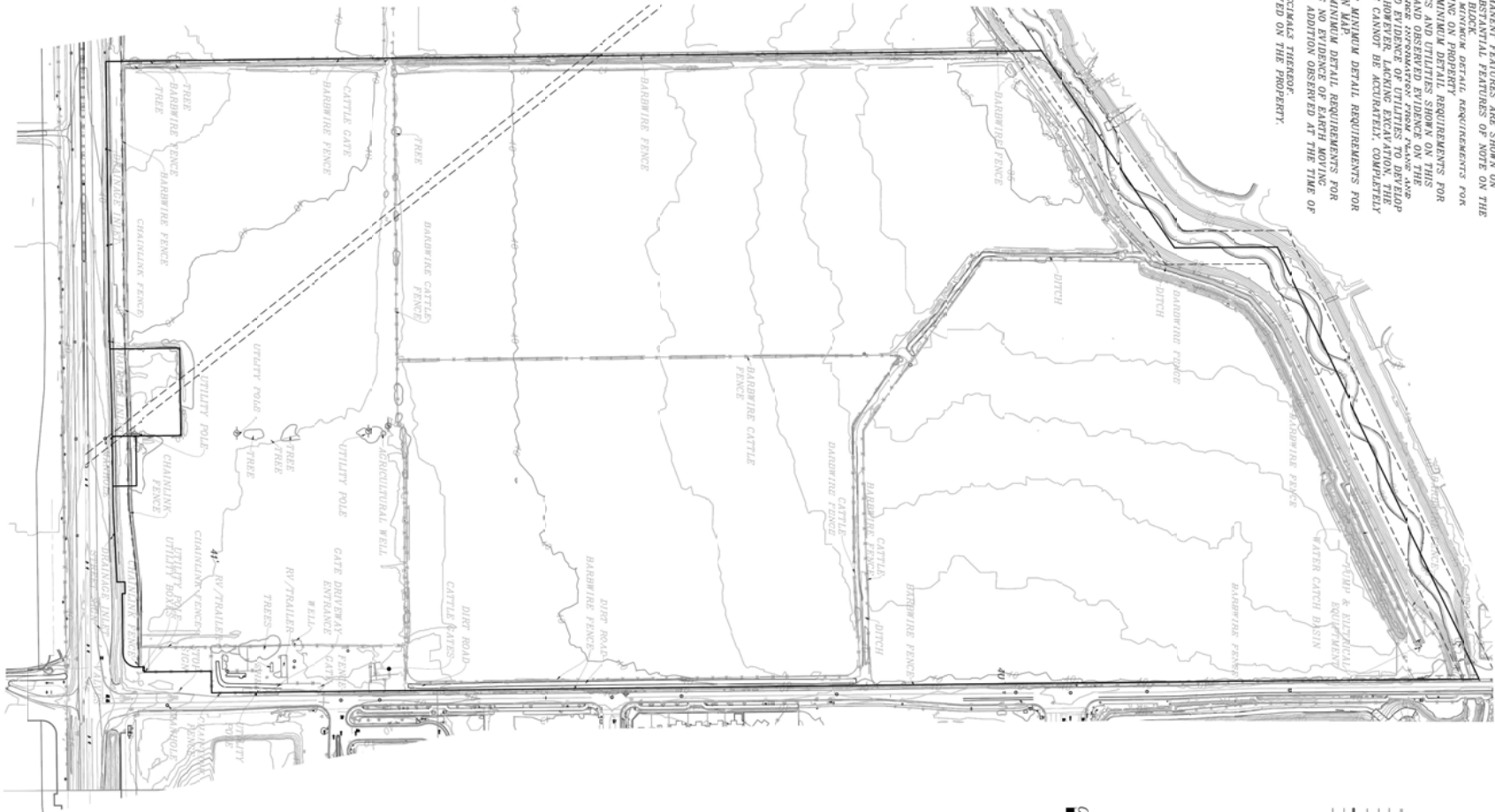
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DATE:	06 OCTOBER, 2023
SCALE:	
CHECKED:	SHR
SHEET:	

C-002

Schematic Plans

### GENERAL NOTES

1. THIS MAP WAS PREPARED IN ACCORDANCE WITH PRIORITY TITLE COMPANY ORDER NO. 09005792-00-PA-P1 AND DEPICTS THE REAL PROPERTY AND PLATTABLE ENCUMBRANCES DESCRIBED THEREIN, ITEMS REMAINING TO TAXES, FINANCING, SURVEY AND ARE NOT REPRESENTED HEREON.
2. WITH REGARD TO TABLE A, ITEM 2 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE ADDRESS OF THE SUBJECT PROPERTY IS 8673 KAMMNER ROAD, CITY OF ELK GROVE, SACRAMENTO COUNTY, CALIFORNIA.
3. WITH REGARD TO TABLE A, ITEM 3 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE FLOOD ZONE INFORMATION IS SHOWN IN THE PROJECT NOTES.
4. WITH REGARD TO TABLE A, ITEM 4 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE CROSS SECTION OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY IS SHOWN ON MAP.
5. WITH REGARD TO TABLE A, ITEM 5 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE SURVEY PERIOD IS A GOOD SURVEY PERIOD AS SHOWN ON THE PROJECT DATA SHEET IN THE PROPERTY DATA SHEET.
6. WITH REGARD TO TABLE A, ITEM 6 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE EXTERIOR BUILDING DIMENSIONS ARE SHOWN ON THE PROJECT DATA SHEET.
7. WITH REGARD TO TABLE A, ITEM 7 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE EXTERIOR BUILDING DIMENSIONS ARE SHOWN ON THE PROJECT DATA SHEET.
8. WITH REGARD TO TABLE A, ITEM 8 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: ALL PERMANENT FEATURES ARE SHOWN ON THE DATE OF THE SURVEY, INCLUDING THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY.
9. WITH REGARD TO TABLE A, ITEM 9 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: NO PARKING OR PROJECT REQUIREMENTS FOR ALTA SURVEY ARE SHOWN ON THIS SURVEY.
10. WITH REGARD TO TABLE A, ITEM 10 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE SURVEY PERIOD IS A GOOD SURVEY PERIOD AS SHOWN ON THE PROJECT DATA SHEET.
11. WITH REGARD TO TABLE A, ITEM 11 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE SURVEY PERIOD IS A GOOD SURVEY PERIOD AS SHOWN ON THE PROJECT DATA SHEET.
12. WITH REGARD TO TABLE A, ITEM 12 OF THE MINIMUM DETAIL REQUIREMENTS FOR ALTA SURVEY: THE SURVEY PERIOD IS A GOOD SURVEY PERIOD AS SHOWN ON THE PROJECT DATA SHEET.
13. NO ENCUMBRANCES OR BURIAL GROUNDS OBSERVED ON THE PROPERTY.



LEGEND

(Symbol)	EXISTENT
(Symbol)	PROPOSED
(Symbol)	PROPERTY LINE ADJACENT
(Symbol)	PROPERTY LINE
(Symbol)	PROPERTY LINE
(Symbol)	CENTRE LINE
(Symbol)	UTILITY POLE
(Symbol)	MANHOLE
(Symbol)	SIGN

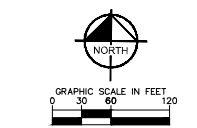
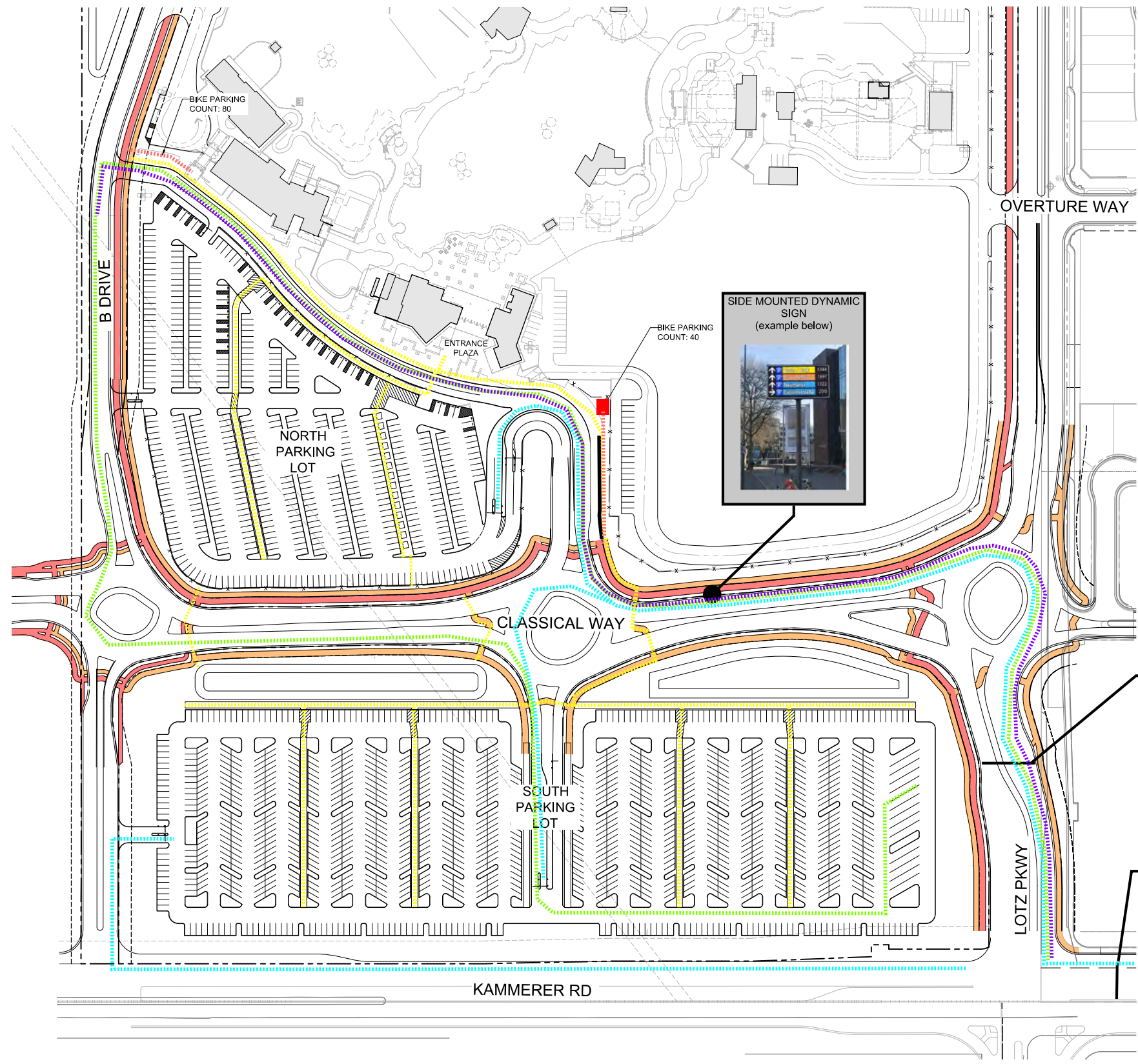


DATE OF SURVEY	9/16/2023	ALTA SURVEY
DATE OF PLAT	03/22/2023	
SHEET	2 OF 2	

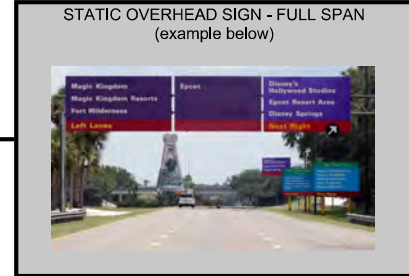
CITY OF ELK GROVE COUNTY OF SACRAMENTO STATE OF CALIFORNIA

110 BLUE RAVINE RD SUITE 101 | FOLSOM, CA 95630  
PHONE: 916.800.0023 | unicongineering.com

NOT TO SCALE  
FOR REFERENCE ONLY



- LEGEND**
- PROPERTY / RIGHT-OF-WAY LINE
  - EASEMENT
  - SIDEWALK
  - BIKE PATH
  - PEDESTRIANS
  - DROP-OFF
  - BUSES
  - CARS



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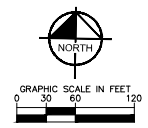
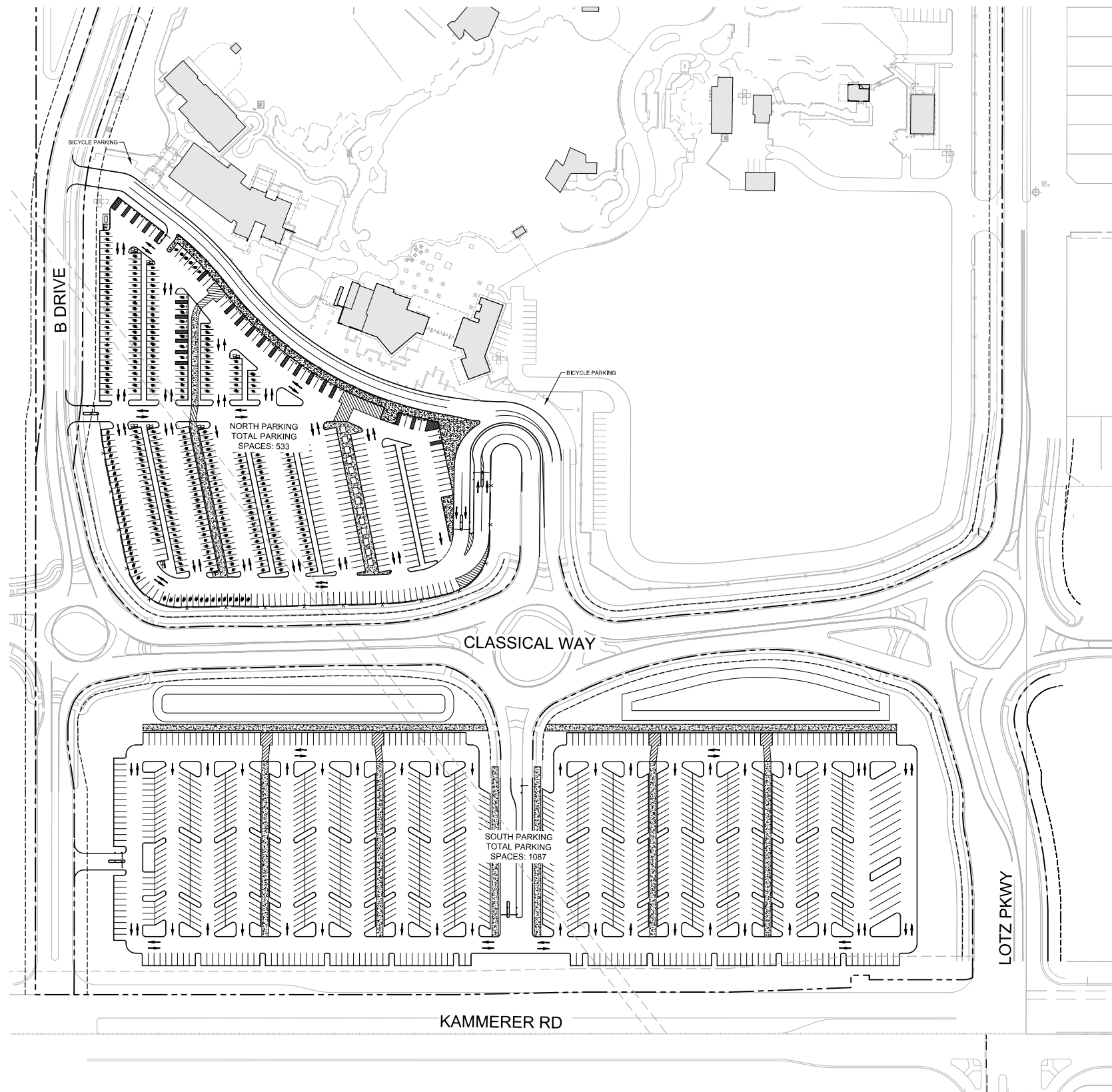
VEHICULAR ACCESS - CIRCULATION PLAN

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
CHECKED: SHR  
SHEET:

C-100

Schematic Plans

DATE: 10/06/23 10:00 AM



**LEGEND**

- PROPERTY / RIGHT-OF-WAY LINE
- - - EASEMENT
- EV CAPABLE STALL
- ACCESSIBLE STALLS
- SIDEWALK

**STANDARD PARKING PROVIDED**

PARKING STALL TYPE	COMBINED
STANDARD PARKING	1259
ACCESSIBLE PARKING	34
<b>STANDARD TOTAL</b>	<b>1293</b>

**EV PARKING PROVIDED**

PARKING STALL TYPE	COMBINED
EV CAPABLE (20% OF TOTAL TOTAL = 458)	313
EVCS (25% OF EV CAPABLE)	80
EV STANDARD ACCESSIBLE	7
EV VAN ACCESSIBLE	2
EV AMBULATORY	5
<b>EV TOTAL</b>	<b>327</b>

\* ALL EVCS CALCULATIONS ARE BASED OFF 2022 CALIFORNIA BUILDING CODE

**PARKING PROVIDED TOTAL**

PARKING PROVIDED TOTAL	COMBINED
OVERALL PARKING COUNT	1620
BICYCLE PARKING	120



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The New Zoo at Elk Grove

**PARKING LOT LAYOUT PLAN**

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
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**C-200**

Schematic Plans



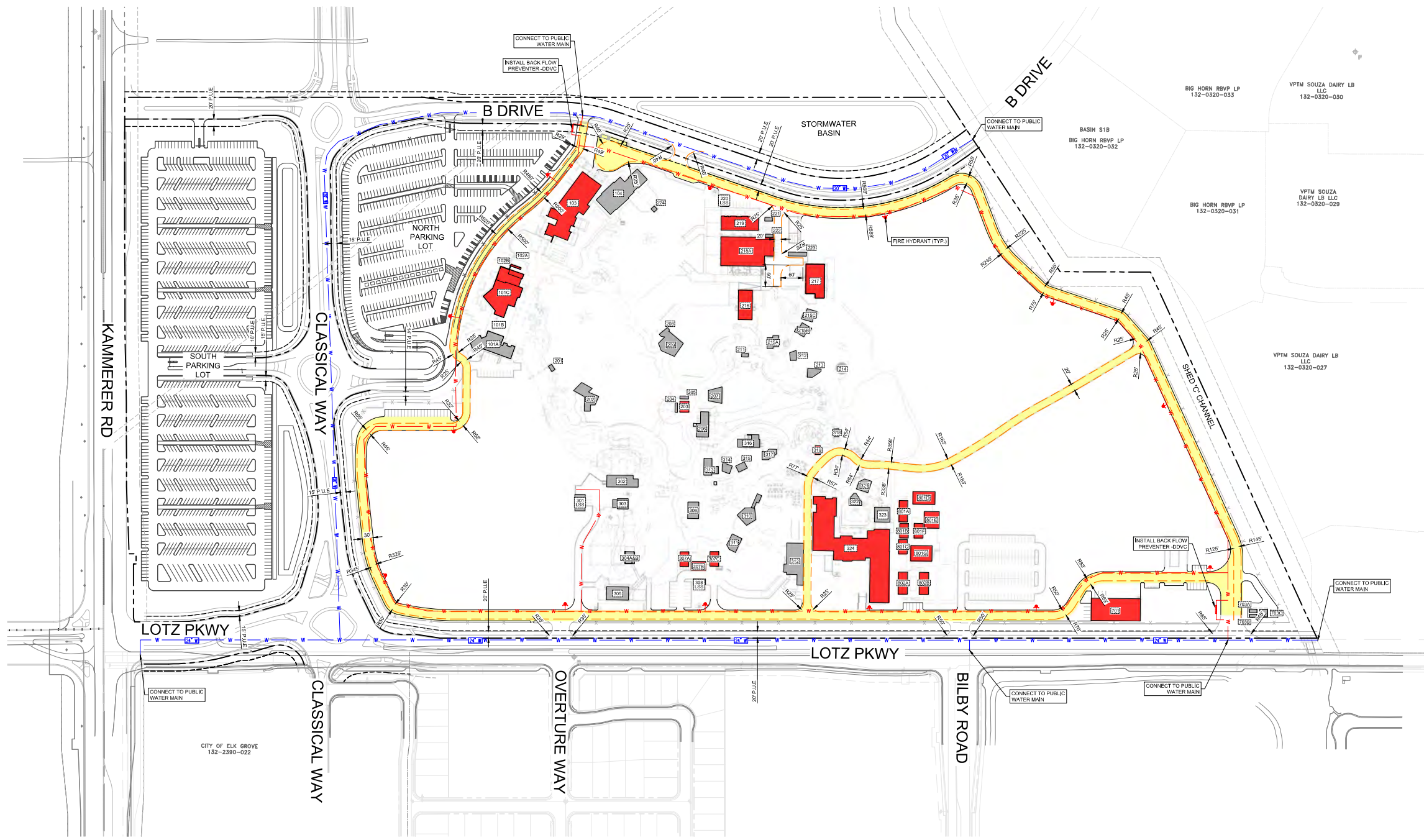
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BLDG #	BLDG Name	Fire Sprinkler Demand GPM	Fire Sprinkler Connect. Inches
101	Guest Services/Restrooms/Ticketing	650	4
101	Retail		
102	Education Entry Restrooms	650	4
103	The Lodge	650	4
104	Events Pavilion		
201	Dwarf Mongoose Care Quarters		
202	Giraffe Feeding Shelter Canopy		
202	Giraffe Feeding Shelter Sales Room		
203	Bear Garden Restrooms	650	4
204	Bear Service		
205	Bear Service		
206	Cheetah Care Quarters		
207	Cheetah View Shelter		
208	Fennel Fox Care Quarters		
209	Lion View Shelter 1		
210	Lion View Shelter 2		
211	Meerkat Care Quarters		
212	Rhino View Shelter 1		
213	Rhino View Shelter 2		
214	Rhino Encounter Shelter		
215	Overnight Guest Duplex		
215	Overnight Guest Duplex		
215	Overnight Guest Duplex		
216	Lion Care Quarters	650	4
217	Rhino Care Quarters	650	4
218	Giraffe Care Quarters	650	4
218	Giraffe Care Quarters	650	4
219	Overnight Guest Suite		
219	Hoodstock Care Quarters	650	4
220	Savanna LSS		
221	Walk In Browse Cooler		
222	Hay Storage		
223	Event Lawn Giraffe Feeding Shelter		

BLDG #	BLDG Name	Fire Sprinkler Demand GPM	Fire Sprinkler Connect. Inches
301	Flamingo LSS		
302	Flamingo Care Quarters/Brooder		
303	Africa Aviary Care Quarters		
304	Lul 1: Vestibule		
304	Lul 2: Colobus Care Quarters		
305	Osage Care Quarters		
306	Giant Tortoise Care Quarters		
307	Multipurpose Room	650	4
307	Multipurpose Room		
307	Multipurpose Room		
308	Galada LSS		
309	KipSpringer/Rhys Holding		
310	Galada View Shelter 2		
311	Galada View Shelter 1		
312	Galada Care Quarters		
313	Train Depot		
314	Alligator Viewing Shelter 1		
315	Alligator Viewing Shelter 2		
316	Alligator & Sq. Monkey Care Quarters		
317	Squirrel Monkey Viewing Shelter		
318	Parrot Care Quarters		
319	Play Area Restrooms & Lactation Room	650	4
320	Carousel Pavilion		
321	Lemur View Shelter 1		
322	Lemur View Shelter 2		
323	Lemur Care Quarters		
324	Quarantine & Nutrition Center	650	4
701	Maintenance Shed/Shops	650	4
703	Containerized Fodder System		
703	Walk In Browse Cooler		
703	Walk In Browse Cooler		
703	Roof		

BLDG #	BLDG Name	Fire Sprinkler Demand GPM	Fire Sprinkler Connect. Inches
801	Admin Modular 1	650	4
801	Admin Modular 2	650	4
801	Admin Modular 3	650	4
801	Admin Modular 4	650	4
801	Admin Modular 5	650	4
801	Admin Modular 6	650	4
801	Restrooms - Prefabricated	650	4
802	Animal Staff Modular 1	650	4
802	Animal Staff Modular 2	650	4

BLDG #	BLDG Name	Fire Sprinkler Demand GPM	Fire Sprinkler Connect. Inches
105	Administration / Staff Support & Offices (2-stories)	650	4
401	Changing Exhibits	650	4
401	Otter Care Quarters & LSS		
401	California Fresh Waters Indoor Exhibits	650	4
402	Education & Classrooms	650	4
402	California Quarters Indoor Exhibits	650	4
403	Capibara Care Quarters		
404	Grizzly Bear View Shelter		
405	Bobcat Care Quarters		
406	Restrooms - California		
407	Food Kiosk		
408	Big Horned Sheep Care Quarters		
409	Rescue & Rehab Facility	650	4
410	Grizzly Bear Care Quarters & LSS		
501	African Ape Viewing		
502	Hippo Springs View Shelter		
503	Hippo River View Shelter		
504	Food & Restroom Kiosk		
505	Changweil Arrival Building	650	4
505	Accommodation 1		
505	Accommodation 2		
505	Accommodation 3		
505	Accommodation 4		
505	Accommodation 5		
505	Accommodation 6		
505	Accommodation 7		
506	Hippo Care Quarters		
507	Hippo/Tiger Filtration		
508	African Ape CQ		
509	Wild Dog /Hyena CQ		
510	Rhino Breeding /Hoodstock CQ	650	4

BLDG #	BLDG Name	Fire Sprinkler Demand GPM	Fire Sprinkler Connect. Inches
601	Wallace Line Gallery Indoor Exhibits	650	4
601	Komodo Dragon/Red Panda C/Q		
602	Clouded Leopard Care Quarters		
603	Tiger View Shelter		
604	Tiger Care Quarters		
605	Beaver Care Quarters		
606	Restrooms - Asia		
606	Aiury Viewing Shelters		
606	Food Kiosk		
607	North Water Recovery		
608	Asian Ape View Shelter		
609	Asian Ape Care Quarters		
610	Cassowary Care Quarters		
611	Australian Aviary Care Quarters		
612	Clouded Leopard View Shelter		
702	Maintenance Shed/Shops	650	4
705	Greenhouse 2		
706	Greenhouse 1		
707	Event Storage	650	4

**LEGEND**

- PROPERTY / RIGHT-OF-WAY LINE
- ON-SITE WATER MAIN (FIRE AND POTABLE WATER)
- PUBLIC WATER MAIN
- FIRE HYDRANT
- FIRE LANE
- BUILDING WITH SPRINKLER SYSTEM
- BUILDING WITHOUT SPRINKLER SYSTEM
- BUILDING ID NUMBER
- FIRE TRUCK PATH

**FIRE WATER NOTES**

- FIRE HYDRANTS PER CONSUMER'S COMMUNITY DISTRICT FIRE DEPARTMENT'S REQUIREMENT.
- ALL HOURLY MEET MINIMUM REQUIREMENTS UNLESS CALLED OUT OTHERWISE.

REV DATE	DESCRIPTION
1 09/22/2023	For Review
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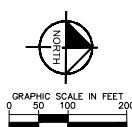
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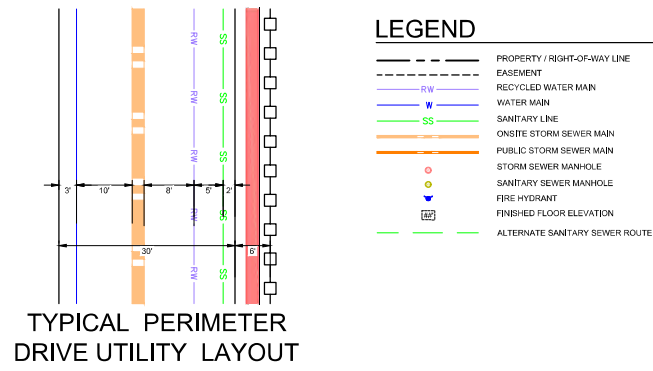
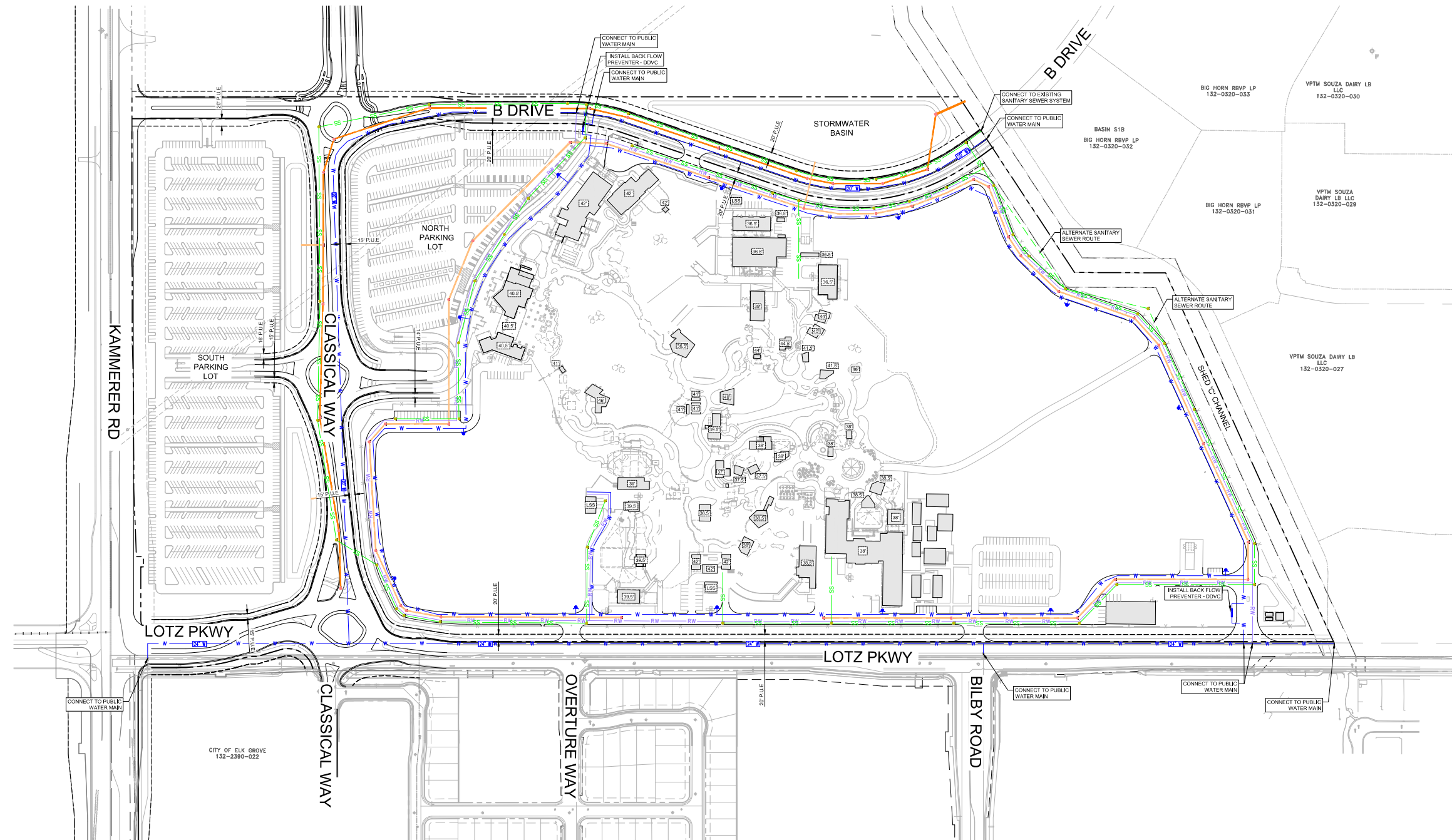
FIRE PLAN

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**C-300**

Schematic Plans





- LEGEND**
- PROPERTY / RIGHT-OF-WAY LINE
  - EASEMENT
  - RW RECYCLED WATER MAIN
  - W WATER MAIN
  - SS SANITARY LINE
  - ONSITE STORM SEWER MAIN
  - PUBLIC STORM SEWER MAIN
  - STORM SEWER MANHOLE
  - SANITARY SEWER MANHOLE
  - FIRE HYDRANT
  - FINISHED FLOOR ELEVATION
  - ALTERNATE SANITARY SEWER ROUTE



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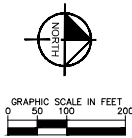
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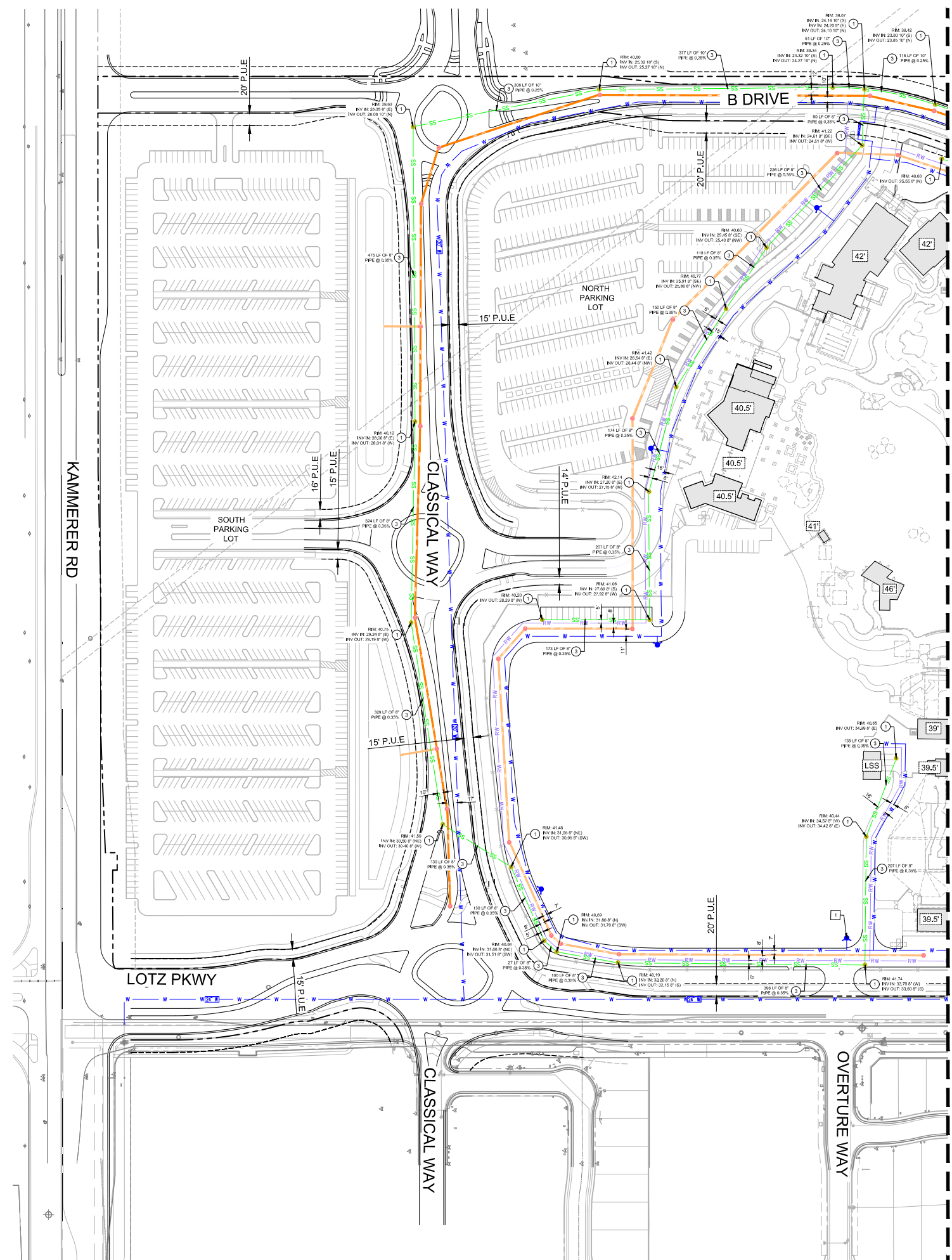
OVERALL UTILITY PLAN

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C-400

Schematic Plans





- LEGEND**
- PROPERTY / RIGHT-OF-WAY LINE
  - - - - - EASEMENT
  - RECYCLED WATER MAIN
  - WATER MAIN
  - SANITARY LINE
  - ON-SITE STORM SEWER MAIN
  - PUBLIC STORM SEWER MAIN
  - STORM SEWER MANHOLE
  - SANITARY SEWER MANHOLE
  - FIRE HYDRANT
  - FINISHED FLOOR ELEVATION
  - ALTERNATE SANITARY SEWER ROUTE

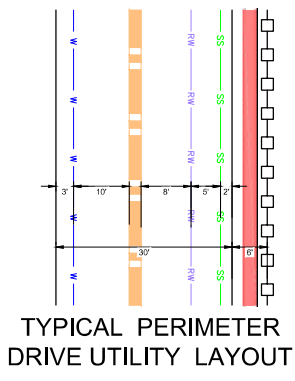
**FIRE WATER CONSTRUCTION NOTES**

1 INSTALL FIRE HYDRANT PER ELK GROVE WATER SERVICE STD.

**SANITARY SEWER NOTES**

1 INSTALL SANITARY SEWER MANHOLE PER SACRAMENTO AREA SEWER DISTRICT STD.

2 INSTALL SEWER PIPE SIZE, LENGTH AND SLOPE PER PLAN.



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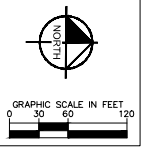
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UTILITY PLAN

SHEET SIZE: ARCH E (36" x 48")  
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**LEGEND**

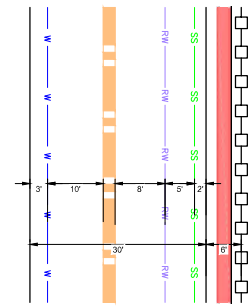
- PROPERTY / RIGHT-OF-WAY LINE
- - - EASEMENT
- RECYCLED WATER MAIN
- WATER MAIN
- SANITARY LINE
- ONSITE STORM SEWER MAIN
- PUBLIC STORM SEWER MAIN
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- FINISHED FLOOR ELEVATION
- ALTERNATE SANITARY SEWER ROUTE

**FIRE WATER CONSTRUCTION NOTES**

- 1 INSTALL FIRE HYDRANT PER ELK GROVE WATER SERVICE STD.

**SANITARY SEWER NOTES**

- 1 INSTALL SANITARY SEWER MANHOLE PER SACRAMENTO AREA SEWER DISTRICT STD.
- 2 INSTALL SEWER PIPE, SIZE, LENGTH AND SLOPE PER PLAN.
- 4 CONNECT INTO EXISTING MANHOLE



TYPICAL PERIMETER DRIVE UTILITY LAYOUT

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1 09/27/2023	For Review
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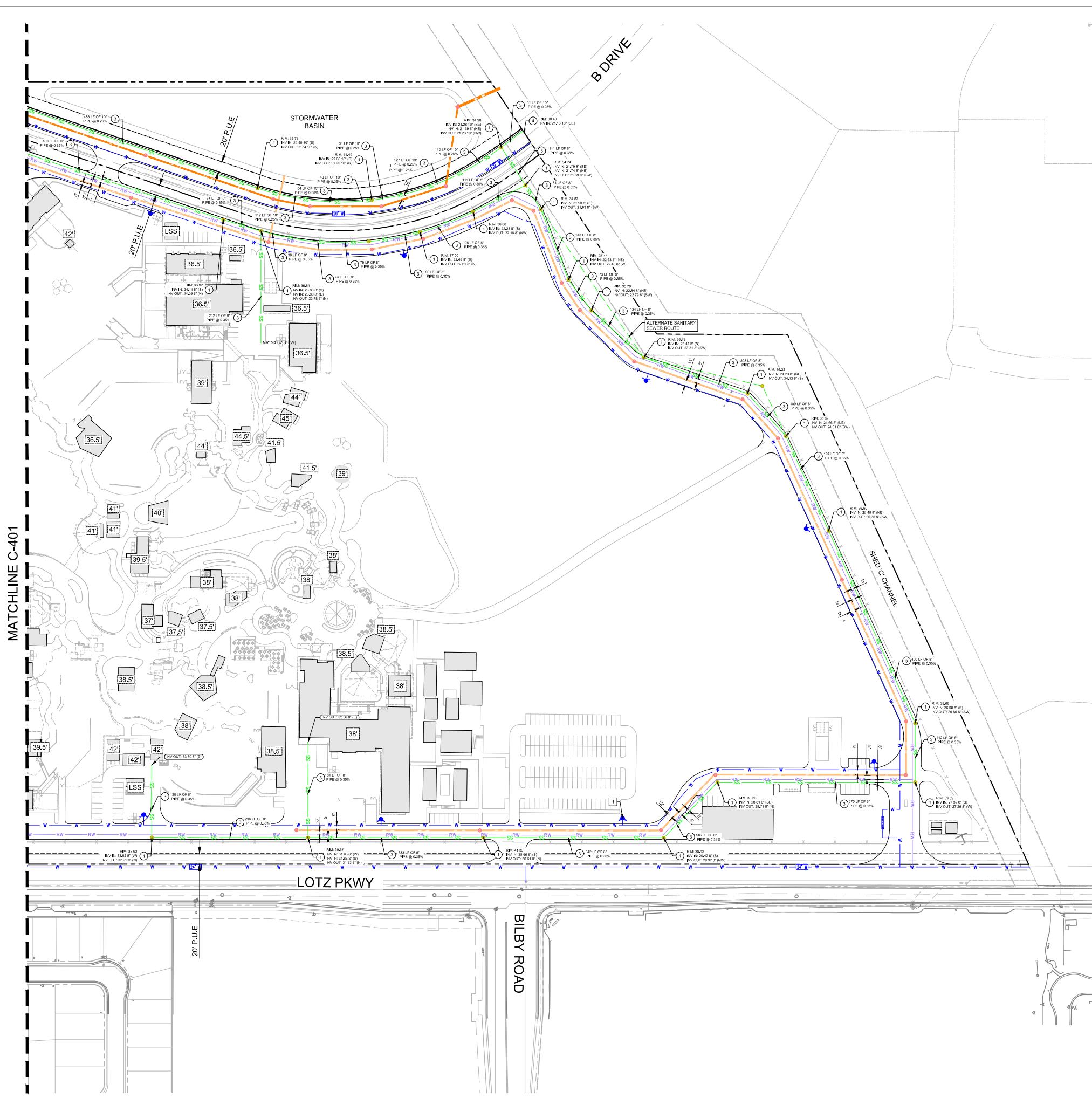
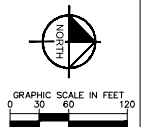
The New Zoo at Elk Grove

UTILITY PLAN

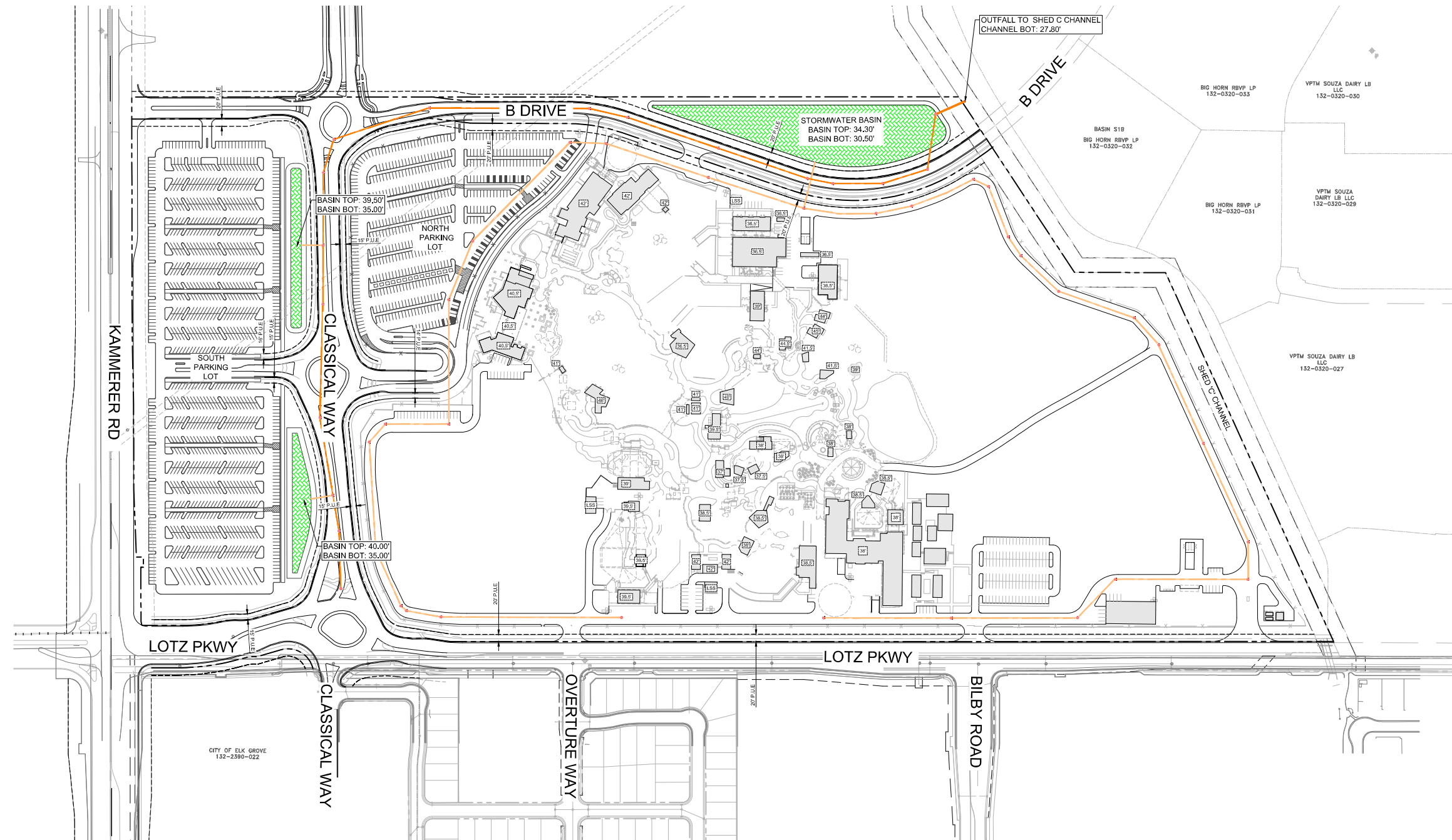
SHEET SIZE: ARCH E (36" x 48")  
 DATE: 06 OCTOBER, 2023  
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C-402

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MATCHLINE C-401



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OVERALL  
STORMWATER PLAN

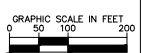
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SCALE:  
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SHEET:

C-500

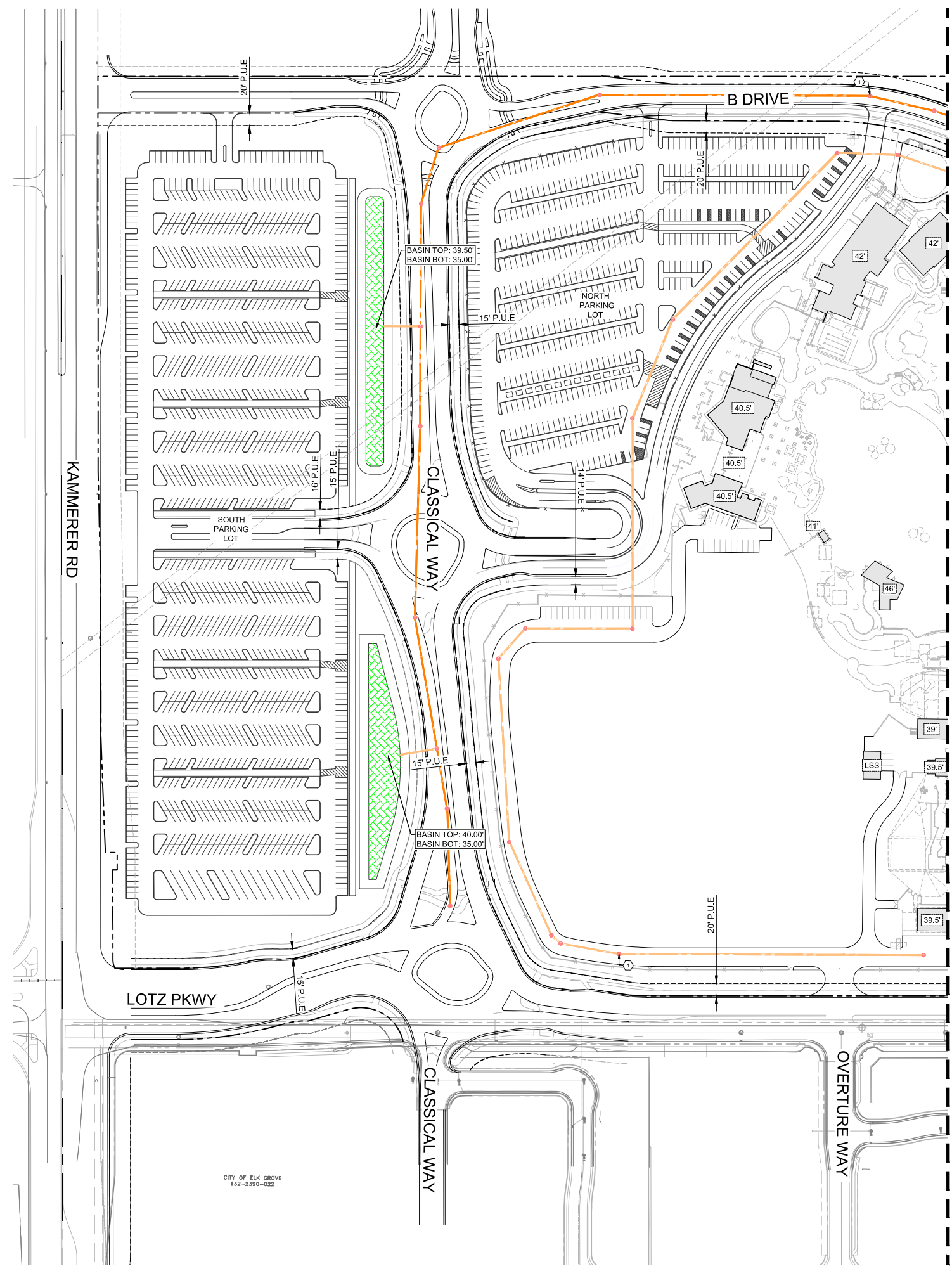
Schematic Plans

LEGEND

- PROPERTY / RIGHT-OF-WAY LINE
- EASEMENT
- ONSITE STORM SEWER MAIN
- PUBLIC STORM SEWER MAIN
- STORM SEWER MANHOLE
- STORM SEWER OVERFLOW STRUCTURE
- STORM WATER BASIN



DATE PLOTTED: 10/06/2023 10:58:11 AM



**LEGEND**

	PROPERTY / RIGHT-OF-WAY LINE
	EASEMENT
	ONSITE STORM SEWER MAIN
	PUBLIC STORM SEWER MAIN
	STORM SEWER MANHOLE
	STORM SEWER OVERFLOW STRUCTURE
	STORM WATER BASIN

**STORM SEWER NOTES**

① INSTALL STORM SEWER MANHOLE.



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3900 W. Linn Park Drive  
Sacramento, CA USA



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REV DATE	DESCRIPTION
1 09/22/2023	For Review
2 10/06/2023	For Pricing

NOT FOR CONSTRUCTION

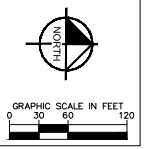
The New Zoo at Elk Grove

**STORMWATER PLAN**

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
CHECKED: SHR  
SHEET:

**C-501**

Schematic Plans





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1 09/22/2023	For Review
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The New Zoo at Elk Grove

**STORMWATER PLAN**

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
CHECKED: SHR  
SHEET:

**C-502**

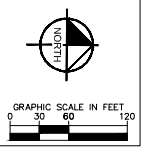
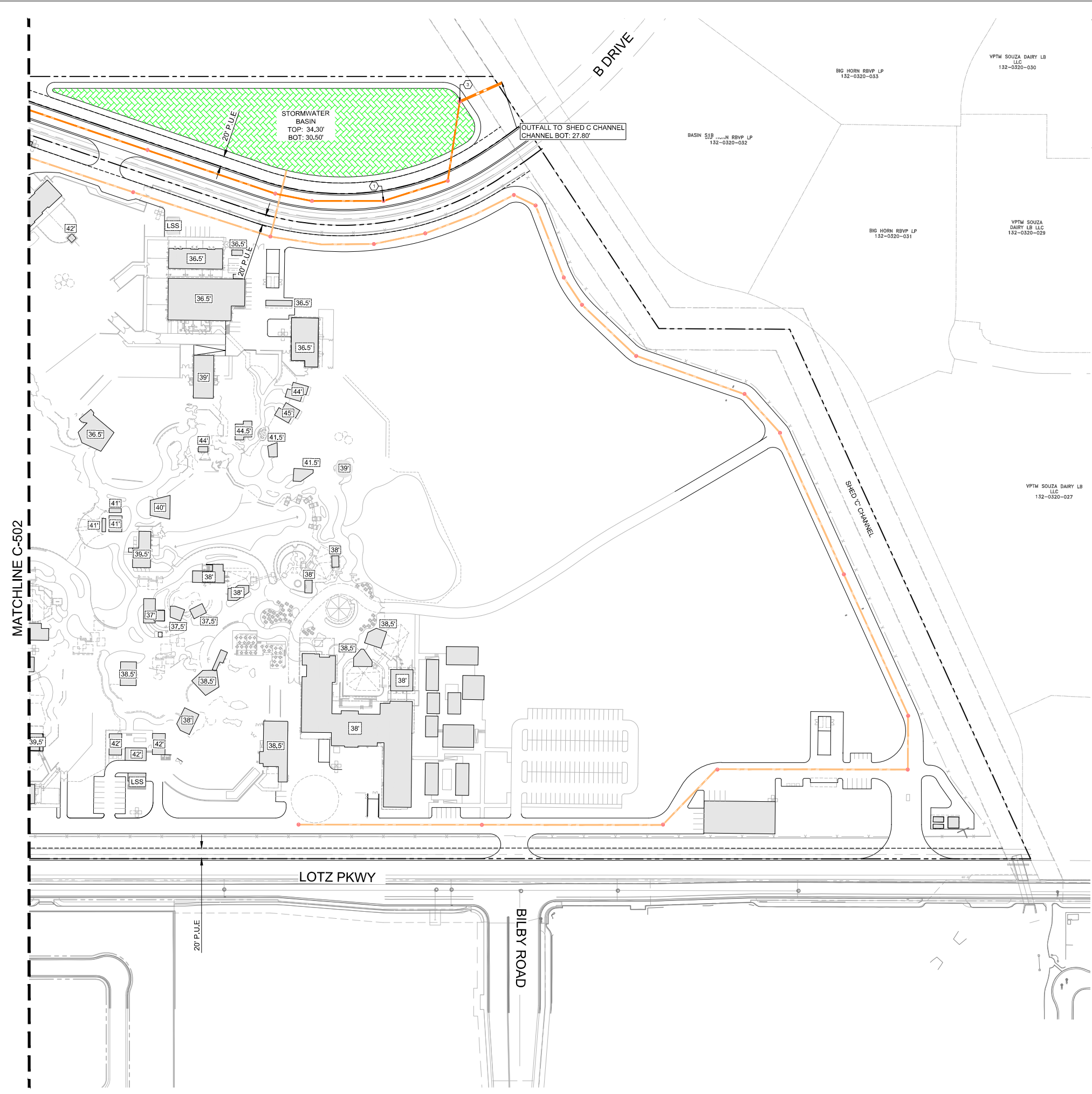
Schematic Plans

**LEGEND**

- PROPERTY / RIGHT-OF-WAY LINE
- - - EASEMENT
- CANITE STORM SEWER MAIN
- PUBLIC STORM SEWER MAIN
- STORM SEWER MANHOLE
- STORM SEWER OVERFLOW STRUCTURE
- ▨ STORM WATER BASIN

**STORM SEWER NOTES**

- ① INSTALL STORM SEWER MANHOLE.
- ② INSTALL OVERFLOW STRUCTURE.



MATCHLINE C-502

LOTZ PKWY

BILBY ROAD

B DRIVE

BIG HORN RBYP LP  
132-0320-033

BASIN 518  
132-0320-032

BIG HORN RBYP LP  
132-0320-031

YPTM SOUZA DAIRY LB  
LLC  
132-0320-030

YPTM SOUZA DAIRY LB  
LLC  
132-0320-029

YPTM SOUZA DAIRY LB  
LLC  
132-0320-027

SHED C CHANNEL

20' P.U.E.

20' P.U.E.

20' P.U.E.

20' P.U.E.

20' P.U.E.

20' P.U.E.

20' P.U.E.

20' P.U.E.

20' P.U.E.

STORMWATER BASIN  
TOP: 34.30'  
BOT: 30.50'

OUTFALL TO SHED C CHANNEL  
CHANNEL BOT: 27.80'

42'

LSS

36.5'

36.5'

36.5'

36.5'

36.5'

39'

44'

45'

44.5'

41.5'

41.5'

39'

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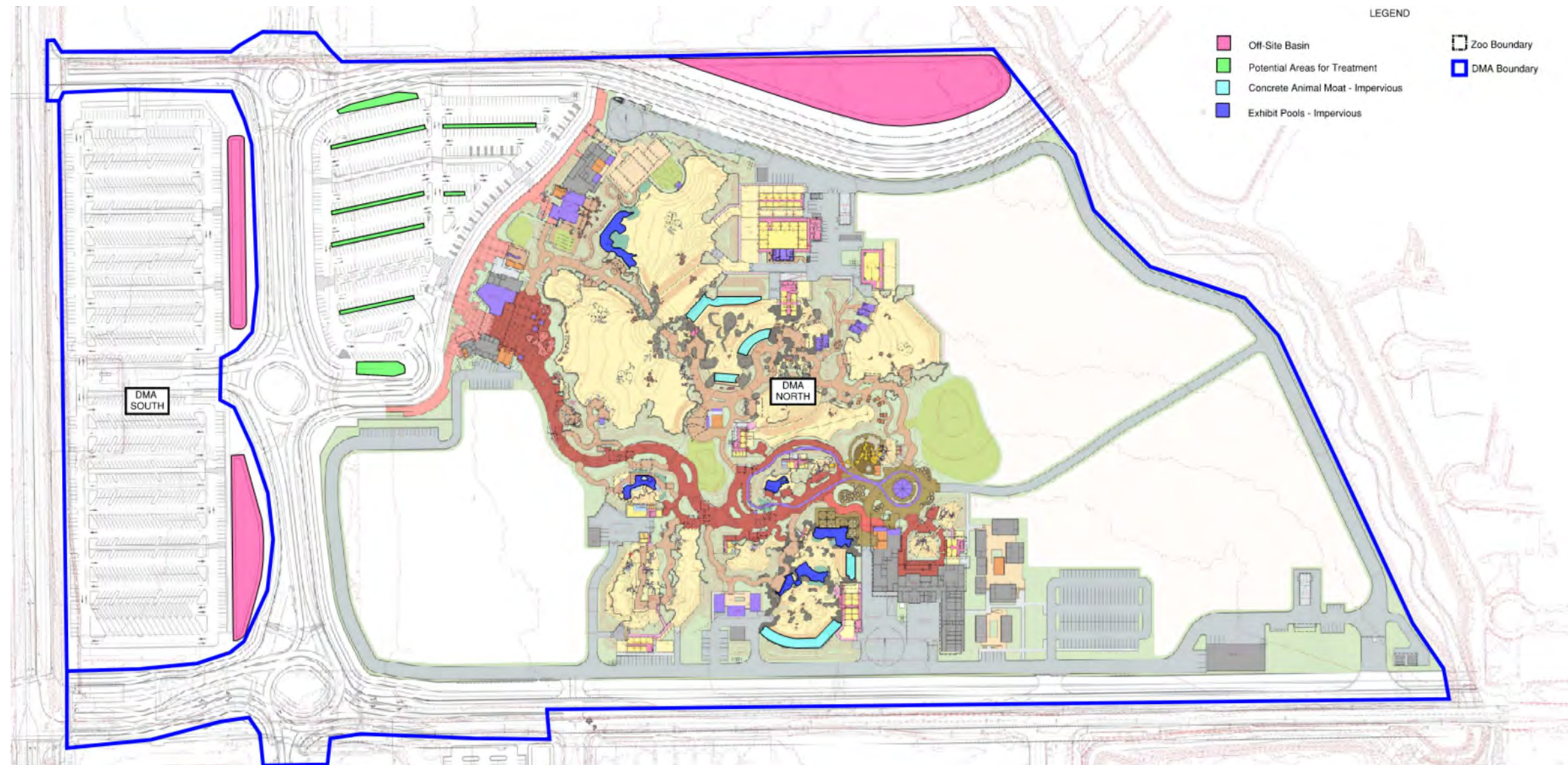
38.5'

38.5'

38.5'

38.5'

38.5'



**LEGEND**

- Off-Site Basin
- Potential Areas for Treatment
- Concrete Animal Moat - Impervious
- Exhibit Pools - Impervious
- Zoo Boundary
- DMA Boundary



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REV DATE	DESCRIPTION
1 09/22/2023	For Review
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The New Zoo at Elk Grove

**STORMWATER QUALITY PLAN - PHASE 1B**

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
CHECKED: SHR  
SHEET:

**C-601**

Schematic Plans

BIORETENTION REQUIREMENTS TABLE - PHASE 1B			
DMA (#)	AREA (AC)	TREATMENT AREA REQUIRED (SF)	POTENTIAL AREAS FOR TREATMENT (SF)
SOUTH	13.48	29,300	29,300
NORTH	80.72	88,000	88,000
<b>TOTAL</b>	<b>94.20</b>	<b>117,300</b>	<b>117,300</b>

IMPERVIOUS AREA CALCULATIONS - PHASE 1B			
DMA (#)	AREA (AC)	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)
SOUTH	13.48	4.42	9.06
NORTH	80.72	51.62	29.10
<b>TOTAL</b>	<b>94.20</b>	<b>56.04</b>	<b>38.16</b>

DATE: 10/06/23 10:00 AM



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BIORETENTION REQUIREMENTS TABLE - FULL BUILD OUT			
DMA (#)	AREA (AC)	TREATMENT AREA REQUIRED (SF)	POTENTIAL AREAS FOR TREATMENT (SF)
SOUTH	13.48	29,300	29,300
NORTH	80.72	113,700	113,700
<b>TOTAL</b>	<b>94.20</b>	<b>143,000</b>	<b>143,000</b>

IMPERVIOUS AREA CALCULATIONS - FULL BUILD OUT			
DMA (#)	AREA (AC)	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)
SOUTH	13.48	4.42	9.06
NORTH	80.72	44.04	36.68
<b>TOTAL</b>	<b>94.20</b>	<b>48.46</b>	<b>45.74</b>

REV DATE	DESCRIPTION
1 09/22/2023	For Review
2 10/06/2023	For Pricing

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The New Zoo at Elk Grove

STORMWATER QUALITY PLAN - FULL BUILD OUT

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
CHECKED: SHR  
SHEET:

C-602

Schematic Plans

DATE: 10/06/2023 10:00 AM



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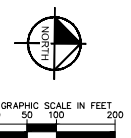


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PROJECT AREA	TOTAL AREA (AC)	TOTAL AREA (sf)	FILL (CY)	CUT (CY)	ROAD/PAVE	BIKE	SIDEWALK	Bldg	ROAD/PAVE	BIKE	SIDEWALK	Bldg	ROAD/PAVE	BIKE	SIDEWALK	Bldg	TOTAL PAVEMENT VOLUME	TOTAL VOLUME ADJUSTED
B-Drive	2.1833	95,105	1,076	(1,004)	48,131	14,110	11,479	-	1.67	0.92	1	-	2,977	481	425	-	(3,883)	(3,811)
Lotz	1.83	79,715	1,475	(45)	30,954	21,776	-	-	1.25	0.92	1	-	1,433	742	-	-	(2,175)	(745)
Perimeter Drive	12.74	554,954	16,293	(23,871)	215,508	-	-	-	1.67	0.92	1	-	13,330	-	-	-	(13,330)	(20,908)
North Parking	6.53	284,447	2,808	(9,365)	299,936	-	7,688	-	1.67	0.92	1	-	18,552	-	285	-	(18,836)	(25,394)
Classical	8.1	352,836	1,966	(2,756)	236,651	32,301	45,641	-	2.21	0.92	1	-	19,370	1,101	1,690	-	(22,161)	(22,951)
South Parking	14.06	612,454	40,329	(10,172)	382,980	-	24,755	-	1.67	0.92	1	-	23,688	-	917	-	(24,605)	5,552
Zoo Phase 1	25.31	1,102,504	65,480	(20,979)	167,643	-	196,338	122,515	1.67	0.92	1	1	10,369	-	7,272	4,538	(22,178)	22,323
Future Zoo Phase 2	24.30	1,058,377	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
<b>TOTAL</b>	<b>95.05</b>	<b>4,140,391</b>	<b>129,428</b>	<b>(68,193)</b>	<b>1,381,803</b>	<b>68,187</b>	<b>285,900</b>						<b>89,719</b>	<b>2,323</b>	<b>10,589</b>		<b>(107,168)</b>	<b>(45,934)</b>

\*ALL VALUES IN PARENTHESES REPRESENT CUT VALUES

TOTAL EARTHWORK = 75,000 CUT  
WITH SWELL FACTOR = 1.25 AND 30% CONTINGENCY



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MASS GRADING  
EXHIBIT - PHASE 1B

SHEET SIZE: ARCH E (36" x 48")  
DATE: 06 OCTOBER, 2023  
SCALE:  
CHECKED: SHR  
SHEET:

**C-700**

Schematic Plans