

CHAPTER 2

STREETS & STREET LANDSCAPING

A. CHAPTER OVERVIEW

The landscape treatment for streets is designed to create a natural and cohesive landscape pattern throughout the community. Consistent treatments including landscape amenities and site furnishings located along various Landscape Corridors provide pedestrian scale and reinforce the overall identity and image of the community. Plantings including street trees, secondary trees, accent trees and shrubs create uniformity along Landscape Corridors and supplement the landscape character in making the pedestrian experience enjoyable. The plant palette has been selected to reinforce the character of the region and the City. Plant material located along Landscape Corridors is limited to those specified in this Manual's plant palette. All elements within a Landscape Corridor, including landscape amenities, site furnishings and plant material, shall be consistent over the length of the entire street. Any substitutions to plant material, landscape amenities, and/or site furnishings from those listed in this Manual shall be approved by the City. Additionally, landscape improvements within a Landscape Corridor shall be in conformance with the City's Municipal Code.

Note: Refer to the SPA, Chapter 4 for street sections and locations of Landscape Corridors (which include Landscape Areas).

B. GENERAL STANDARDS & REFERENCE ITEMS

1. General Landscaping Standards

The following is a list of general landscaping standards for all street Landscape Corridors and Landscape Median/Turn Pockets.

1. Landscape Area grading and slopes shall not exceed 5:1 for turf areas and 4:1 for planting areas. If Landscape Area grading or slopes exceed these ratios, a split face keystone retaining wall shall be required. All retaining walls shall be reviewed and approved by the City and CCSD.
2. The minimum planting size for a tree located within a Landscape Corridor shall be 15-gallon, with one-third (1/3) of all trees being 24" box or larger.
3. All street trees shall be selected from the Primary Street Tree List, as contained in the General Landscape Plant Palette.
(Refer to Chapter 6)
4. Primary Streets Trees shall be specified per the following (Refer to Chapter 6 for more information):
 - Major Street Tree Plan
 - General Planting Requirements
5. Street Trees shall be located at a 40' on center spacing.
6. Specimen Trees shall be planted at all Entry Monuments. (Refer to Chapter 3 for additional information on location and size of Specimen Trees and Chapter 6 for Specimen Tree list contained in the General Landscape Plant Palette.)
7. Landscape Median Trees shall be located at a 35' on center spacing.
8. Landscape Median Accent Trees at Landscape Median nosing shall be located at a 25' on center spacing. Three (3) Landscape Median Accent Trees shall be specified at each Landscape Median nosing. (Refer to the Landscape Median/Turn Pocket in this chapter for more information and Chapter 6 for Median Accent Tree list contained in the General Landscape Plant Palette.)
9. Secondary Trees or Accent Trees located within the Landscape Area of a Landscape Corridor (not Landscape Median/Turn Pockets) shall occur in informal groupings of three or five trees of the same species, planted between the sidewalk and adjacent land use property line. Mixed massings of flowering trees and evergreen species are encouraged.
10. Street Trees and Secondary Trees or Accent trees shall be a combination of deciduous and evergreen trees for purposes of screening and creating seasonal change. A minimum of 30% of the Street Trees and Secondary or Accent trees on a particular street shall be evergreen species.
11. All Street Trees shall be staked per City requirements.
12. All trees planted within 10 feet of a street, sidewalk, paved trail, walkway or plaza element shall be separated by a tree root barrier to prevent damage to public improvements and private property. The tree root barrier shall be installed at time of planting of the tree. (Refer to Tree Root Barrier, Chapter 4)
13. A minimum distance of 15' is required between the center of a tree and all light standards.

14. Shrub plantings adjacent to walls and fences shall be group massings, layered to provide visual interest. Variety in height is encouraged. Multiple rows of layered plantings are encouraged where space is adequate.
15. All shrub planting (i.e. small, medium, large) along any Landscape Corridor and intersections containing entry monuments shall be a minimum of 5-gallon in size. When shrubs are planted to serve as a hedge or screen, the shrub shall be planted at a spacing relative to the plant species' mature width (a shrub with a four foot wide mature width shall be planted at four feet on center). Plants that are not commercially available in a 5-gallon size, may be substituted with a 1-gallon size.
16. When a particular size plant is specified across large sections of a Landscape Corridor (i.e. medium shrub), the landscape architect shall use alternating groupings of plants from that specific section of the General Landscape Plant Palette (refer to Chapter 6) to achieve a planting design that has different genus and species along the entire streetscape. This shall be done to prevent a monolithic plant palette extending along the entire Landscape Corridor.
17. All groundcover planting shall be 1-gallon or grown in flats of up to 64 plants. Root cuttings from plants shall not be located greater than 12 inches on center spacing. Containerized 1-gallon groundcover plants shall not be located greater than 3' on center spacing.
18. Landscape Median plantings shall include evergreen shrubs and groundcover. Deciduous shrubs and groundcover are discouraged in street Landscape Medians.
19. Groundcover plantings shall be located between all separated sidewalks and back of curb/right-of-way ("ROW") along all publicly maintained Landscape Corridors, or as determined by the City.
20. A 3" layer of walk-on type bark mulch shall be located in all planter areas around trees, shrubs and groundcover within all Landscape Corridors.
21. Locations of colored concrete enhanced paving shall be submitted and evaluated at the entitlement stage of each development project.
22. Landscape Median/Turn Pockets include a colored stamped concrete maintenance safety strip (Refer to Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket in this chapter for more information).
23. All Landscape Median/Turn Pockets and landscape improvements located within the street ROW shall be considered public improvements and shall comply with all City requirements. Additionally, all plant material within the public improvements area shall be approved by the CCSO.
24. At single family residential land use adjacent to Arterial Streets, a Community Wall shall be located within the 24' Landscape Area with the back of wall located on the property line.

CHAPTER 2

STREETS & STREET LANDSCAPING: GENERAL STANDARDS & REFERENCE ITEMS

25. Temporary landscaping, including a complete irrigation system, redwood headerboard and groundcover planting shall be installed within the transit corridor until the transit connection is completed.
 26. All bulbouts shall be planted in a combination of shrubs and groundcover, and/or concrete paving as applicable to adjacent land use.
 27. All tree grates shall be located at back of curb. Tree guards shall not be installed.
 28. Commercial Main Street tree wells shall be 6' x 6' minimum and contain structural soil and tree root barriers at edge of tree well to prevent damage to paving. The tree root barrier shall be installed at time of planting of the tree. (Refer to Tree Root Barrier, Chapter 4). Planting media, structural soil, tree root barriers, and tree grates shall be reviewed and approved by the CCSD.
 29. Commercial Main Street Stormwater Planters (if required by the City) shall conform to the design criteria, procedure, and construction considerations described in the Stormwater Quality Design Manual for the Sacramento Region (latest edition), and shall be reviewed and approved by the City and CCSD.
- The following general landscaping standards also apply to street Landscape Median/Turn Pockets, Landscape Corridors, and private landscaping.**
30. The Elk Grove Municipal Code Chapter 14.10 - Water Efficient Landscape Requirements applies to all Landscape Areas within the Plan Area, including private landscaping.
 31. When the Landscape Area is privately maintained, the landscape architect may deviate from the planting design as shown within the Landscape Corridors, as long as the design consistency is preserved throughout the Plan Area. Any deviation to the planting design shall be approved by the City.
 32. All shrubs and trees shall be located in conformance with City site visibility requirements, view triangle requirements and City Improvement Standards and Details.
 33. Two (2) trees shall be planted on each interior residential lot, with one of the trees designated as a Street Tree. The second tree shall be a Secondary Street Tree or Accent Tree and shall be planted in the residential lot front yard. The Street Tree and Secondary Street Tree/Accent Tree shall be different varieties.
 34. Four (4) trees shall be planted on each corner residential lot, with three of the trees designated as Street Trees. One Street Tree shall be planted in the residential lot front yard while two Street Trees shall be planted in the side yard (when not adjacent to a Community Wall). When a corner residential lot is adjacent to a Community Wall, the Landscape Corridor treatment for that street shall apply. The remaining tree shall be planted in the residential lot front yard and shall be a Secondary Street Tree or Accent Tree. The Street Trees shall be the same variety while the Secondary Street Tree/Accent Tree shall be a different variety.
 35. Trees planted in residential front yards shall be 15-gallon minimum size.

2. Reference Items

Planting and Landscape

Refer to the following chapters of this Manual, as required.

1. Primary Street Tree (refer to Chapter 6)
2. Secondary Street Tree (refer to Chapter 6)
3. Accent Tree (refer to Chapter 6)
4. Landscape Median Tree (refer to Chapter 6)
5. Landscape Median Accent Tree at Landscape Median Nosing (refer to Chapter 6)
6. Large Shrub (refer to Chapter 6)
7. Medium Shrub (refer to Chapter 6)
8. Small Shrub (refer to Chapter 6)
9. Small Shrubs & Groundcover (refer to Chapter 6)
10. Sodded Turf (refer to Chapter 6)
11. Vine (refer to Chapter 6)
12. Landscaping
(Private landscaping designed to the City's satisfaction and maintained by the landowner)
13. Residential Unit Front Yard Landscaping
(Private landscaping designed to the City's satisfaction and maintained by the landowner)
14. Stormwater Planter (refer to this Chapter)

Hardscape and Amenities

Refer to the following chapters of this Manual, as required.

1. Concrete Sidewalk. Score joints on-center spacing equal to width of sidewalk. Expansion joints spacing shall be as required per the Geotechnical Report. If no Geotechnical Report exists, expansion joints shall be every fourth score joint minimum. (Refer to Geotechnical Report for the specific lot within the Plan Area for specific information on slab thickness, reinforcement, etc.)
2. Colored Concrete Enhanced Paving (refer to this Chapter)
3. City of Elk Grove Type 3 Concrete Curb (refer to City of Elk Grove Standard Details)
4. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket (refer to this Chapter)
5. Concrete Mowstrip (refer to City of Elk Grove Standard Details)
6. Redwood Headerboard (refer to Chapter 4)
7. Edging for Residential Lots. To be determined by the City.
8. Colored Stamped Asphalt Enhanced Paving Crosswalks (refer to this Chapter)
9. Community Wall with Community Pilasters (refer to Chapter 3)
10. Residential Wood Fence (refer to Chapter 3)
11. Open View Fence (refer to Chapter 3)
12. Neighborhood Entry Monument (refer to Chapter 3)
13. Primary Streetlight (refer to Chapter 4)
14. Pedestrian Scaled Street Light (refer to Chapter 4)
15. Bench (refer to Chapter 4)
16. Trash Receptacle (refer to Chapter 4)
17. Bike Rack (refer to Chapter 4)
18. Tree Grate (refer to Chapter 4)
19. Tree Root Barrier (refer to Chapter 4)
20. City of Elk Grove Visibility Control Area (refer to City of Elk Grove Standard Details)
21. Land Uses
(refer to the SPA, Chapter 2 Land Plan)

CHAPTER 2

STREETS & STREET LANDSCAPING: LANDSCAPE MEDIAN/TURN POCKET DESIGN & STREET MATERIALS

C. LANDSCAPE MEDIAN/TURN POCKET DESIGN & STREET MATERIALS

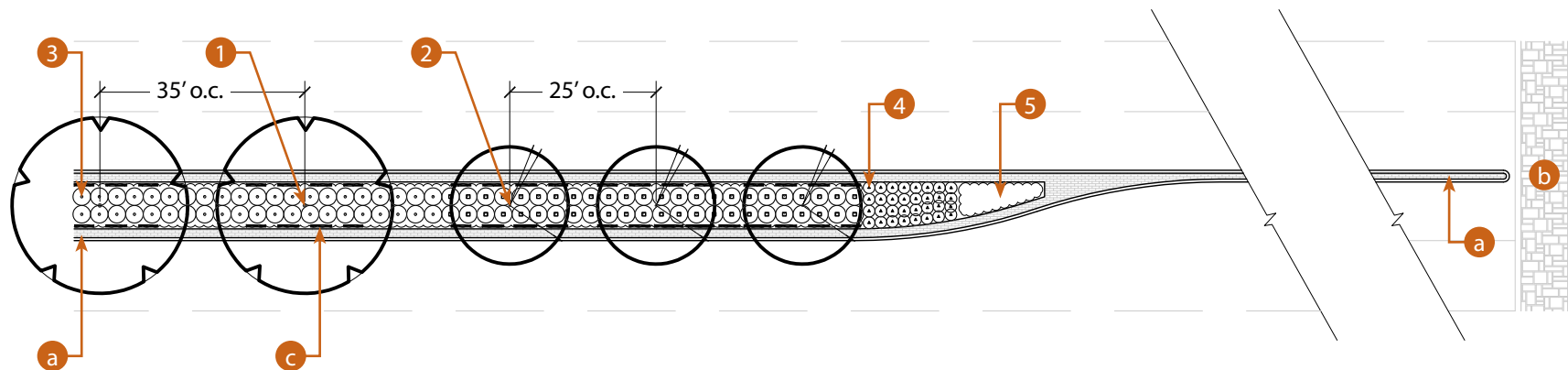
1. Landscape Median/Turn Pocket

This section specifies the general Landscape Median/Turn Pocket requirements (including nosing) and landscaping improvements on all streets within the Plan Area. The particular street is not relevant to this section as all Landscape Median/Turn Pockets within the Plan Area are 12' in width. All landscape improvements within any Landscape Median/Turn Pocket shall be considered public improvements and shall comply with all City requirements. Additionally, all plant material selected shall be accepted by the CCSD. Refer to General Landscape Plant Palette, Chapter 6, for more information.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information

1. Landscape Median Tree
2. Landscape Median Accent Tree at Landscape Median Nosing
3. Medium Shrub
4. Small Shrub
5. Small Shrubs & Groundcover
- a. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket
- b. Colored Stamped Asphalt Enhanced Paving Crosswalk
- c. Tree Root Barrier



Plan - Not to Scale

2. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket

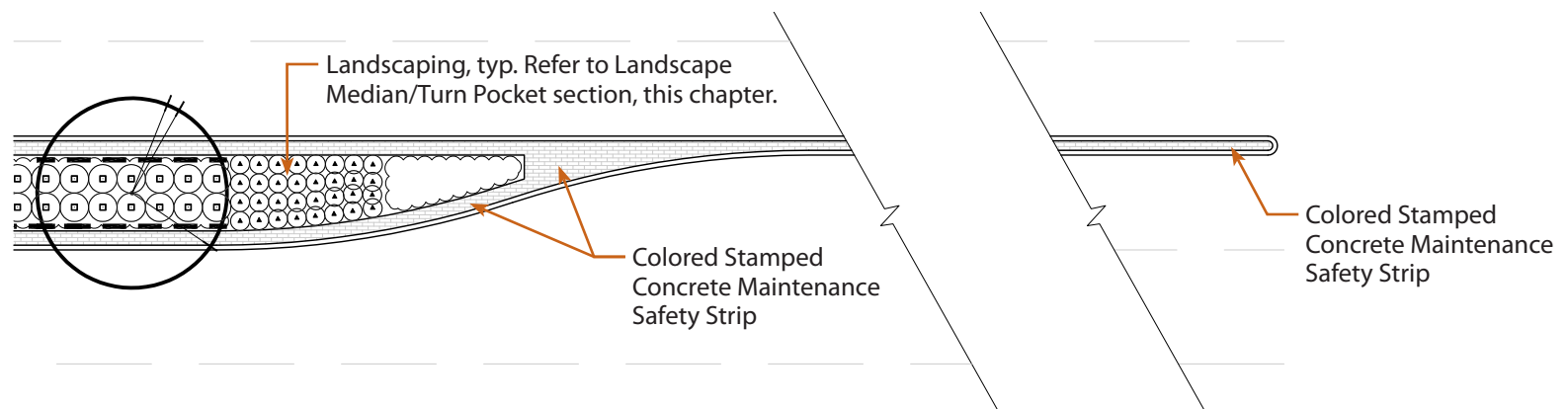
The use of a Colored Stamped Concrete Maintenance Safety Strip is required throughout all Landscape Median/Turn Pockets within the Plan Area (see below). The maintenance safety strip shall be located continuously along both sides of all Landscape Median/Turn Pockets and at all nosing locations where the overall width is 3' or less as measured from the inside of the curb. The maintenance safety strip shall be a minimum width of 16" and shall abut the back of curb (refer to City of Elk Grove Standard Detail L-26). All concrete shall be integrally colored and stamped, with score joints as required and expansion joints located every 20' on center spacing. Refer to the Landscape Median/Turn Pocket section in this chapter for more information.

Concrete Color: **5447 Mesa Buff** *
Available from: **Davis Colors***
3700 E. Olympic Blvd. | Los Angeles, CA 90023
Contact: (800) 356-4848

*= Or approved equivalent

Stamp Pattern: **New Brick - Running Bond Pattern***
Available from: **L.M. Scofield Company***
6533 Bandini Blvd. | Los Angeles, CA 90040
Contact: (800) 800-9900

*= Or approved equivalent



Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket Plan - Not to Scale

CHAPTER 2

STREETS & STREET LANDSCAPING: LANDSCAPE MEDIAN/TURN POCKET DESIGN & STREET MATERIALS

3. Colored Concrete Enhanced Paving

The use of colored concrete enhanced paving is required at the corner of all intersections at Kammerer Road as well as all Arterial Streets. Additionally, enhanced paving may be required along Collector Roads and entrances to Office and Light Industrial/Flex land uses as required by the City. Enhanced paving areas shall be sized as shown on the Enhanced Paving Plan below. Enhanced paving shall be integrally colored concrete, with diagonal scoring at 4'-0" on center spacing. Install expansion joints as required by the City.

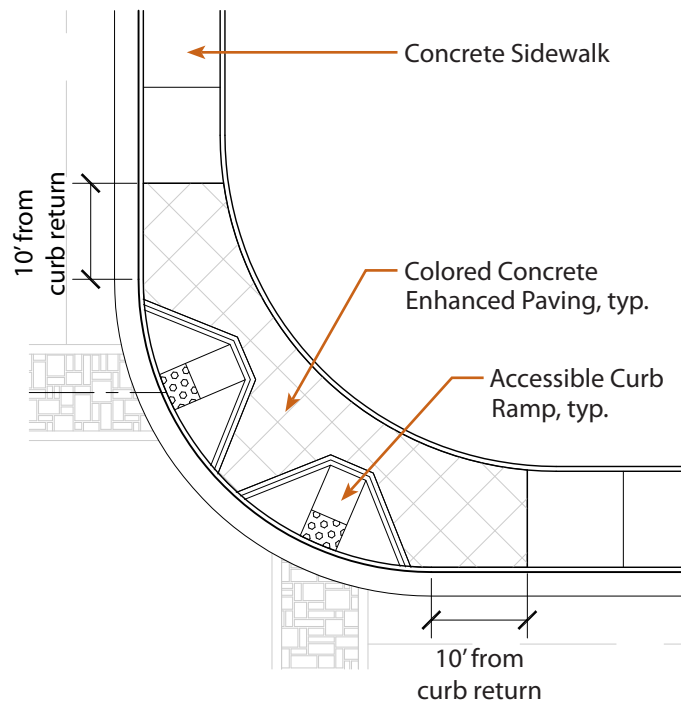
Concrete Color: 5447 Mesa Buff - Medium Broom Finish*

Available from: Davis Colors*

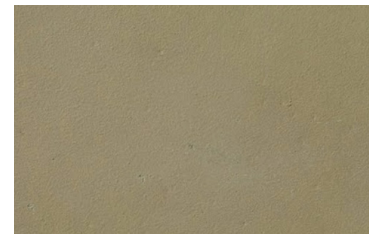
3700 E. Olympic Blvd. | Los Angeles, CA 90023

Contact: (800) 356-4848

* = Or approved equivalent



Enhanced Paving Plan - Not to Scale



Example: 5447 Mesa Buff Concrete Color with Medium Broom Finish*

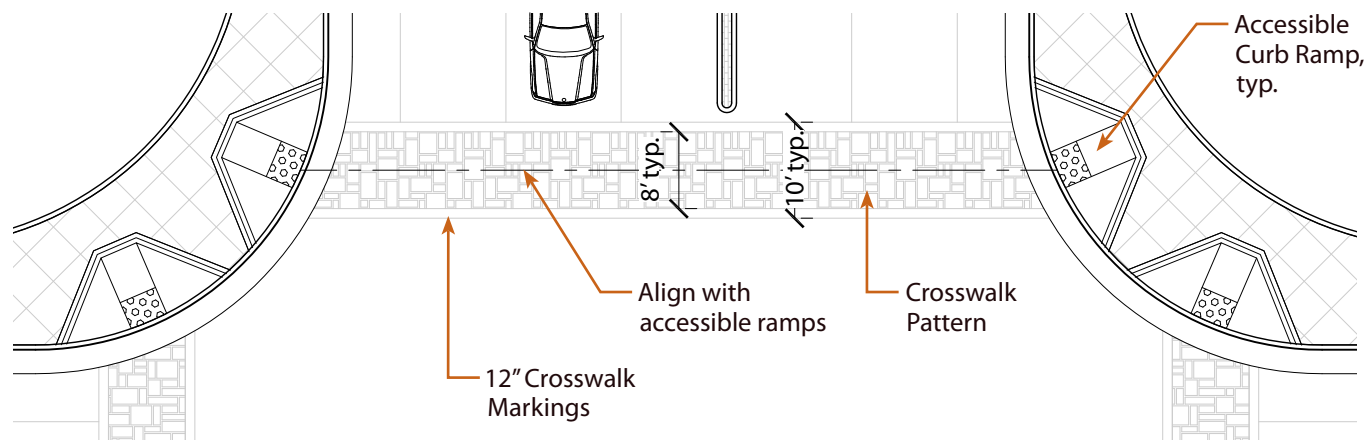
4. Colored Stamped Asphalt Enhanced Paving Crosswalks

The use of stamped asphalt enhanced paving crosswalks is required at all accessible curb ramp locations on Kammerer Road as well as all Arterial Streets. Similarly, enhanced paving crosswalks may also be required at greenway and drainage area access points at Collector Streets and Local Residential Streets, as well as the entrances to Office and Light Industrial/Flex land uses as required by the City. Enhanced paving crosswalks shall be sized as shown on the Colored Stamped Asphalt Enhanced Crosswalk Paving Plan below.

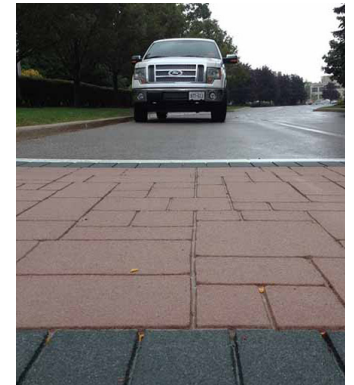
Surfacing: **Traffic Pattern XD Stamped Asphalt Surfacing System***
 Pattern: **Slate***
 Color: **Cocoa***
 Available from: **Ennis-Flint**
 115 Todd Court, PO Box 160 | Thomasville, NC 27360
 Contact: (800) 331-8118

12" crosswalk markings shall be painted and constructed with white thermoplastic material to the specifications set forth in Chapter 3 and Chapter 7 of the California Manual on Uniform Traffic Control Devices (California MUTCD), latest edition.

* = Or approved equivalent



Colored Stamped Asphalt Enhanced Paving Crosswalk Plan - Not to Scale

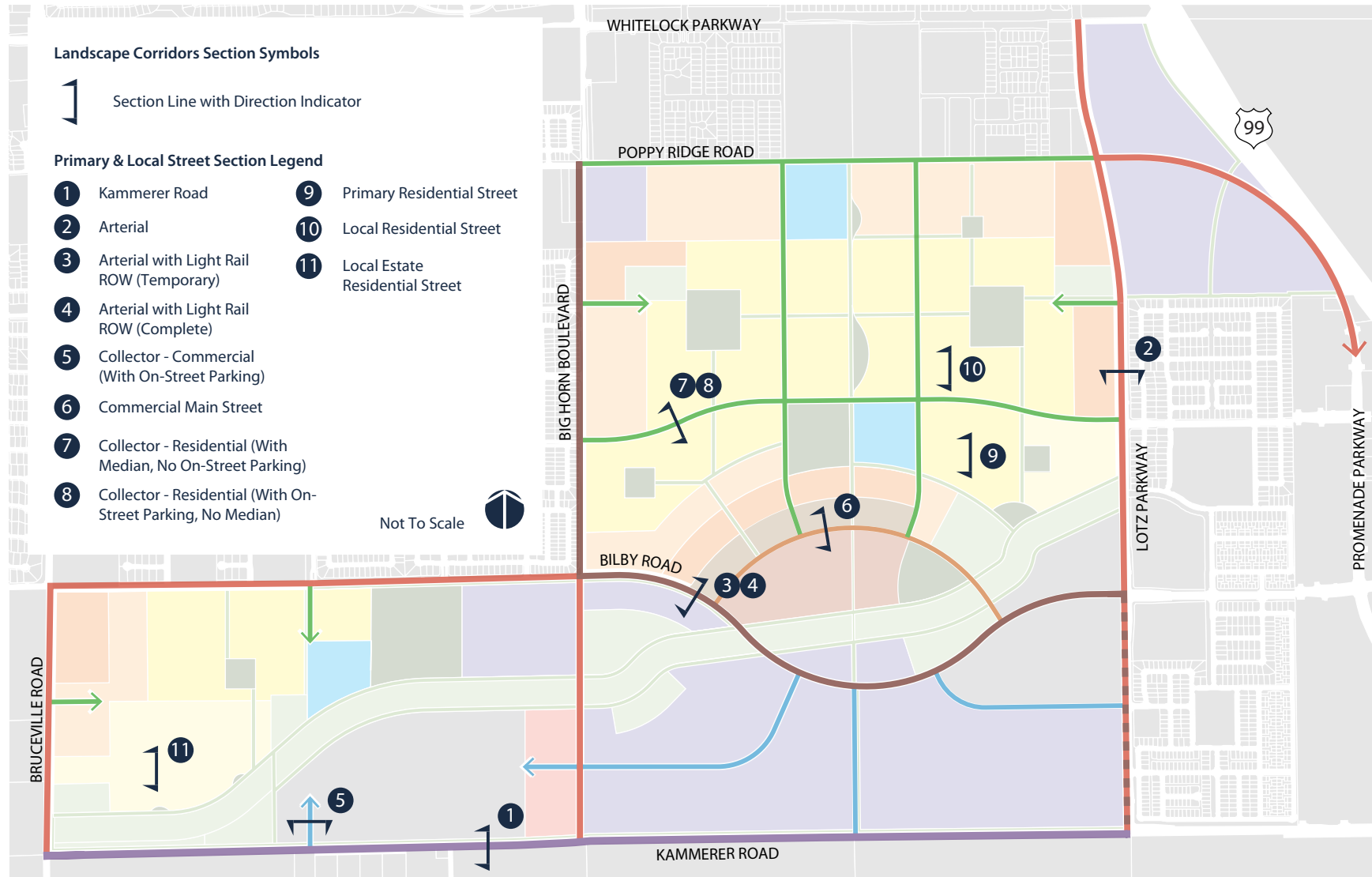


Example: Traffic Pattern XD
Slate Pattern

D. LANDSCAPE CORRIDORS

1. Landscape Corridors Plan

The Landscape Corridors Plan illustrates where the various street development standards and Landscape Corridors exist within the Plan Area.



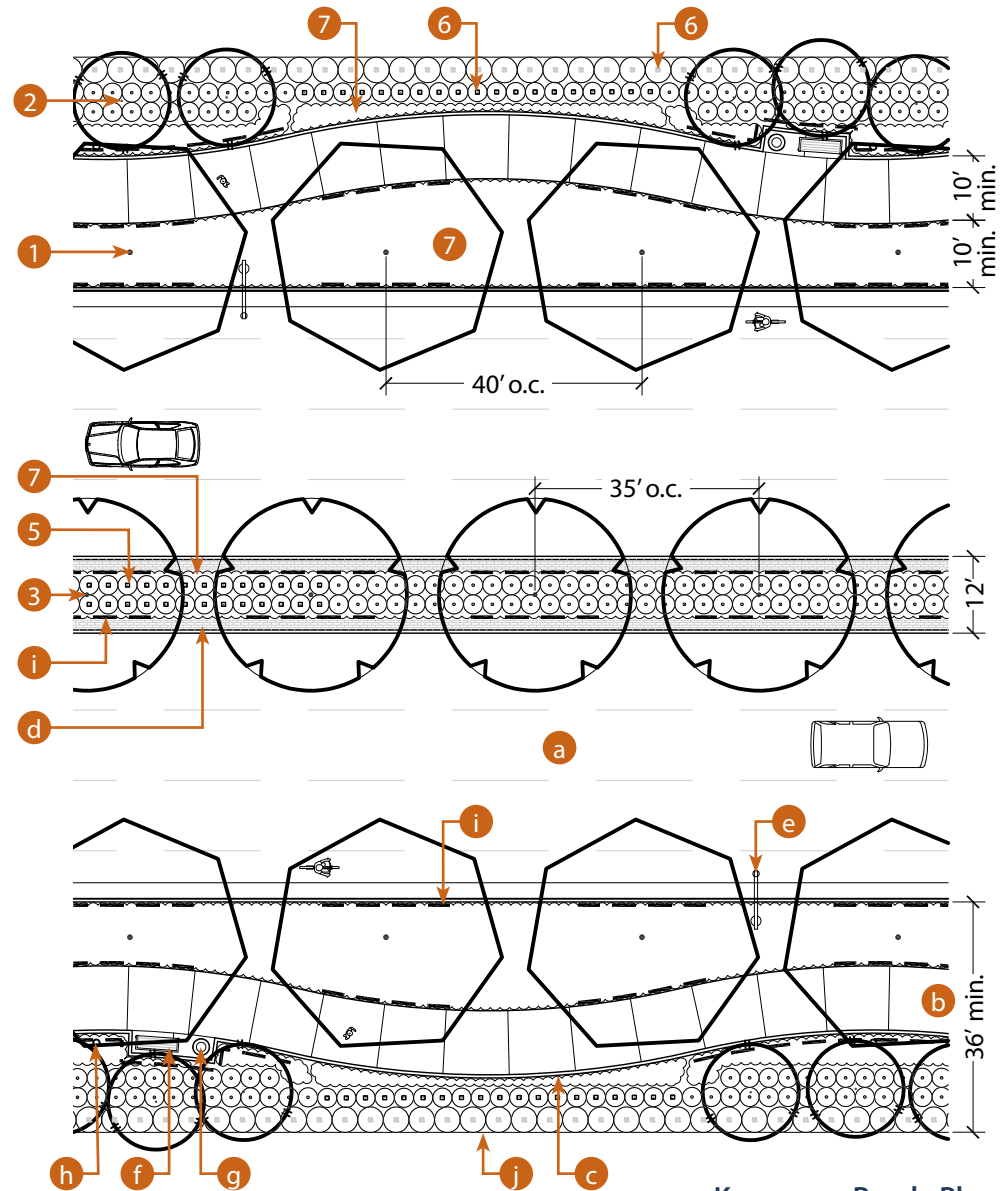
2. Kammerer Road

Kammerer Road features a minimum 36' wide Landscape Area as measured from the back of curb to the property line. The south side of Kammerer Road shall be installed in phases as required by the City. For the purposes of this street, the landscape requirements are designed for the full width of the Right of Way (ROW) including the 36' Landscape Areas located on both side of the street.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|--|--|
| 1. Primary Street Tree | a. Kammerer Road |
| 2. Secondary Street Tree or Accent Tree | b. Concrete Sidewalk |
| 3. Landscape Median Tree | c. City of Elk Grove Type 3 Concrete Curb |
| 4. Landscape Median Accent Tree at Landscape Median Nosing (not shown) | d. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket |
| 5. Large Shrub (not shown) | e. Primary Streetlight |
| 6. Medium Shrub | f. Bench |
| 7. Small Shrubs & Groundcover | g. Trash Receptacle |
| | h. Lighted Bollard |
| | i. Tree Root Barrier |
| | j. Concrete Mowstrip (Landscape Area Limit) |



Kammerer Road - Plan
Not to Scale

CHAPTER 2

STREETS & STREET LANDSCAPING: LANDSCAPE CORRIDORS

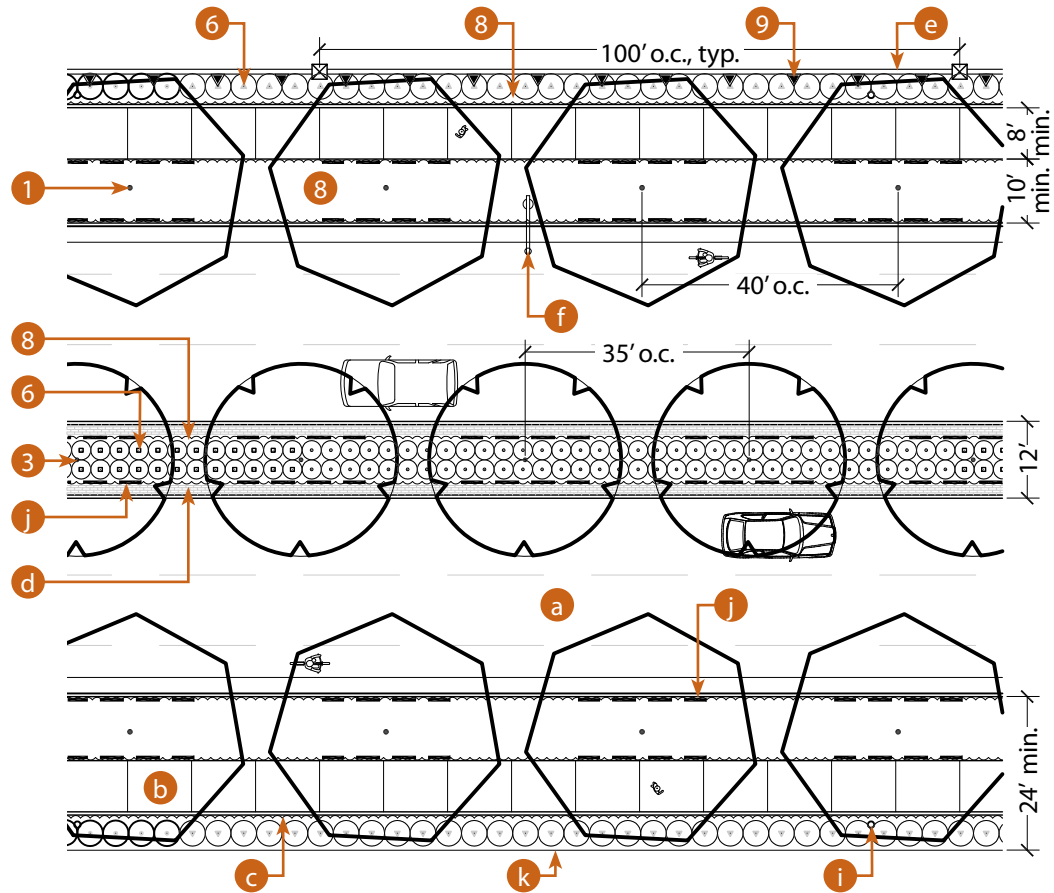
3. Arterial

Arterial Streets feature a minimum 24' wide Landscape Area as measured from the back of curb at ROW to the property line. When the 24' wide Landscape Area is adjacent to single-family residential, it shall be considered public improvement and shall comply with all City requirements. However, when adjacent to any other land use, the 24' Landscape Area shall be private landscaping designed to the City's satisfaction and maintained by the landowner.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|--|---|
| 1. Primary Street Tree | a. Arterial Street |
| 2. Accent Tree (not shown) | b. Concrete Sidewalk |
| 3. Landscape Median Tree | c. City of Elk Grove Type 3 Concrete Curb |
| 4. Landscape Median Accent Tree at Landscape Median Nosing (not shown) | d. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/ Turn Pocket |
| 5. Large Shrub (not shown) | e. Community Wall with Community Pilasters |
| 6. Medium Shrub | f. Primary Streetlight |
| 7. Small Shrub (not shown) | g. Bench (not shown) |
| 8. Small Shrubs & Groundcover | h. Trash Receptacle (not shown) |
| 9. Vine | i. Lighted Bollard |
| | j. Tree Root Barrier |
| | k. Concrete Mowstrip (Landscape Area Limit) |



Arterial - Plan

Not to Scale

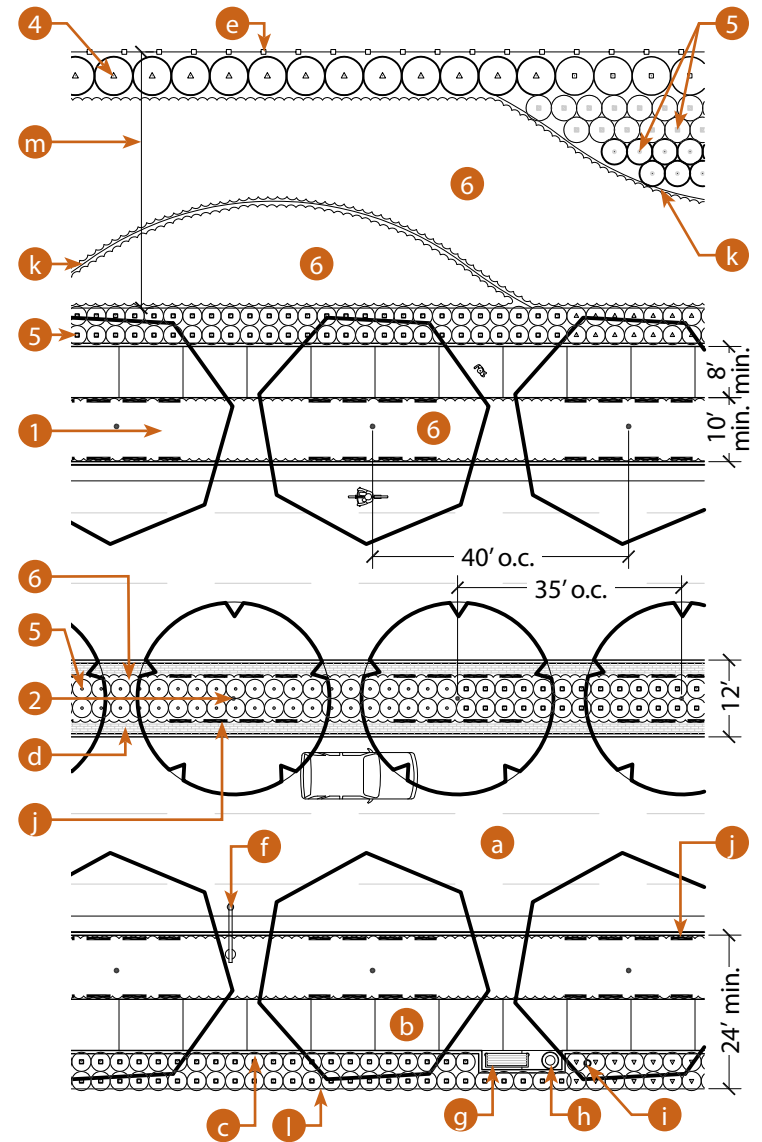
4. Arterial with Transit Corridor (Temporary Landscaping)

Arterial Streets with a transit corridor feature a minimum 24' wide Landscape Area as measured from the back of curb ROW to the property line, as well as 40' right-of-way on one side of the street for a future transit connection. The 24' Landscape Area adjacent to the 40' transit corridor shall always be considered public improvements and shall comply with all City requirements. The opposing 24' Landscape Area, when adjacent to single family residential, shall be considered public improvements and shall comply with all City requirements. However, when adjacent to any other land use, this 24' Landscape Area shall be private landscaping designed to the City's satisfaction and maintained by the landowner. In advance of the transit facility, the 40' transit corridor shall be landscaped to the satisfaction of the City. No fencing shall be installed between the 24' Landscape Area and the 40' transit corridor until the transit connection is completed. Depending on the land use adjacent to the transit corridor, either a Open View Fence or Community Wall shall be located at the property line adjacent to the transit corridor. Residential uses adjacent to the corridor shall install a Community Wall along the shared property line as part of their development. All other uses shall install an Open View Fence. All fencing and walls shall be consistent with the design requirements set forth in the Walls, Fences and Entry Monuments chapter (refer to Chapter 3).

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | | |
|--|---|---|
| 1. Primary Street Tree | a. Arterial Street with Transit Corridor | Pilasters (not shown) |
| 2. Landscape Median Tree | b. Concrete Sidewalk | f. Primary Streetlight |
| 3. Landscape Median Accent Tree at Landscape Median Nosing (not shown) | c. City of Elk Grove Type 3 Concrete Curb | g. Bench |
| 4. Large Shrub | d. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/ Turn Pocket | h. Trash Receptacle |
| 5. Medium Shrub | e. Open View Fence (shown) or Community Wall with Community | i. Lighted Bollard |
| 6. Small Shrubs & Groundcover | | j. Tree Root Barrier |
| | | k. Redwood Header |
| | | l. Concrete Mowstrip (Landscape Area Limit) |
| | | m. Light Rail Transit Corridor (future development) |



Arterial with Transit Corridor
(Temporary Landscaping) - Plan
Not to Scale

CHAPTER 2

STREETS & STREET LANDSCAPING: LANDSCAPE CORRIDORS

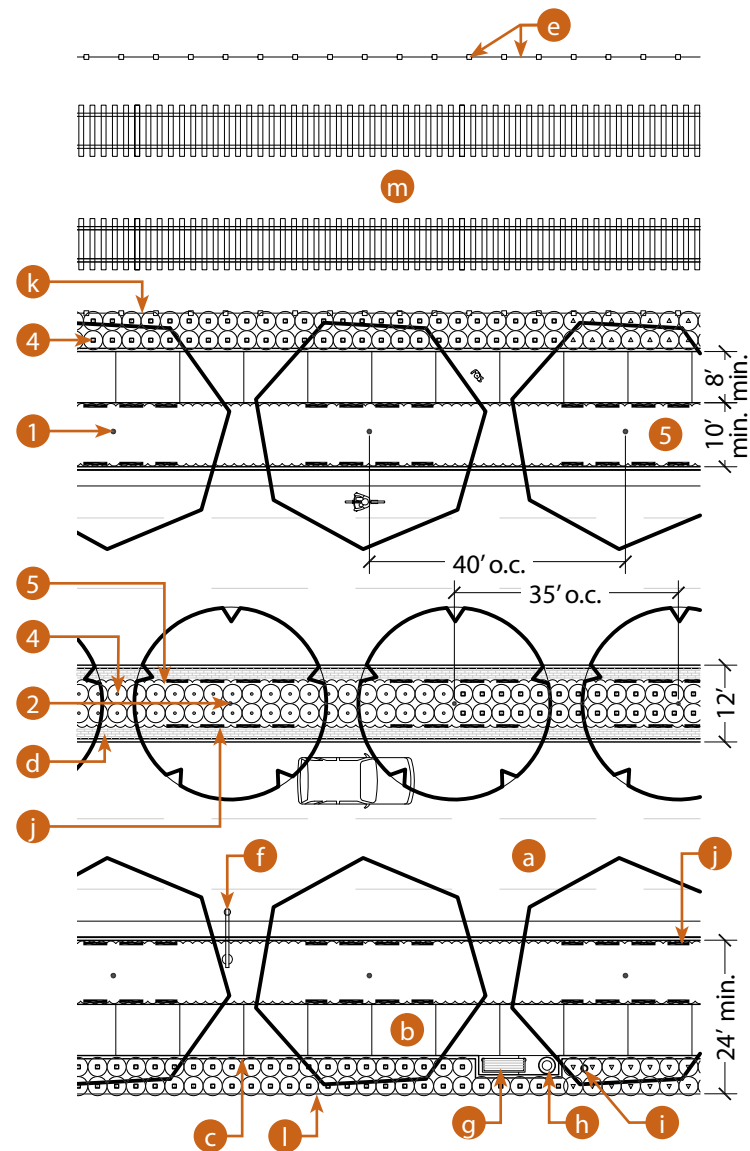
5. Arterial with Transit Corridor (Completed Transit Connection)

Arterial Streets with a transit corridor feature a minimum 24' wide Landscape Area as measured from the back of curb ROW to the property line, as well as 40' right-of-way on one side of the street for a future transit connection. The 24' Landscape Area adjacent to the 40' transit corridor shall always be considered public improvements and shall comply with all City requirements. The opposing 24' Landscape Area, when adjacent to single family residential, shall be considered public improvements and shall comply with all City requirements. However, when adjacent to any other land use, this 24' Landscape Area shall be private landscaping designed to the City's satisfaction and maintained by the landowner. Upon development of the transit system, an Open View Fence shall be installed along the street side of the transit corridor. Depending on the land use adjacent to the transit corridor, either an Open View Fence or Community Wall shall be located at the property line adjacent to the transit corridor. Residential uses adjacent to the corridor shall install a Community Wall along the shared property line as part of their development. All other uses shall install an Open View Fence. All fencing and walls shall be consistent with the design requirements set forth in the Walls, Fences and Entry Monument chapter (refer to Chapter 3).

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | | |
|--|---|---|
| 1. Primary Street Tree | a. Arterial Street with Transit Corridor | f. Primary Streetlight |
| 2. Landscape Median Tree | b. Concrete Sidewalk | g. Bench |
| 3. Landscape Median Accent Tree at Landscape Median Nosing (not shown) | c. City of Elk Grove Type 3 Concrete Curb | h. Trash Receptacle |
| 4. Medium Shrub | d. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/ Turn Pocket | i. Lighted Bollard |
| 5. Small Shrubs & Groundcover | e. Open View Fence (shown) or Community Wall with Community Pilaster (not shown) | j. Tree Root Barrier |
| | | k. Open View Fence |
| | | l. Concrete Mowstrip (Landscape Area Limit) |
| | | m. Light Rail Transit Corridor (future development) |



**Arterial with Transit Corridor
(Completed Transit Connection) - Plan**

Not to Scale

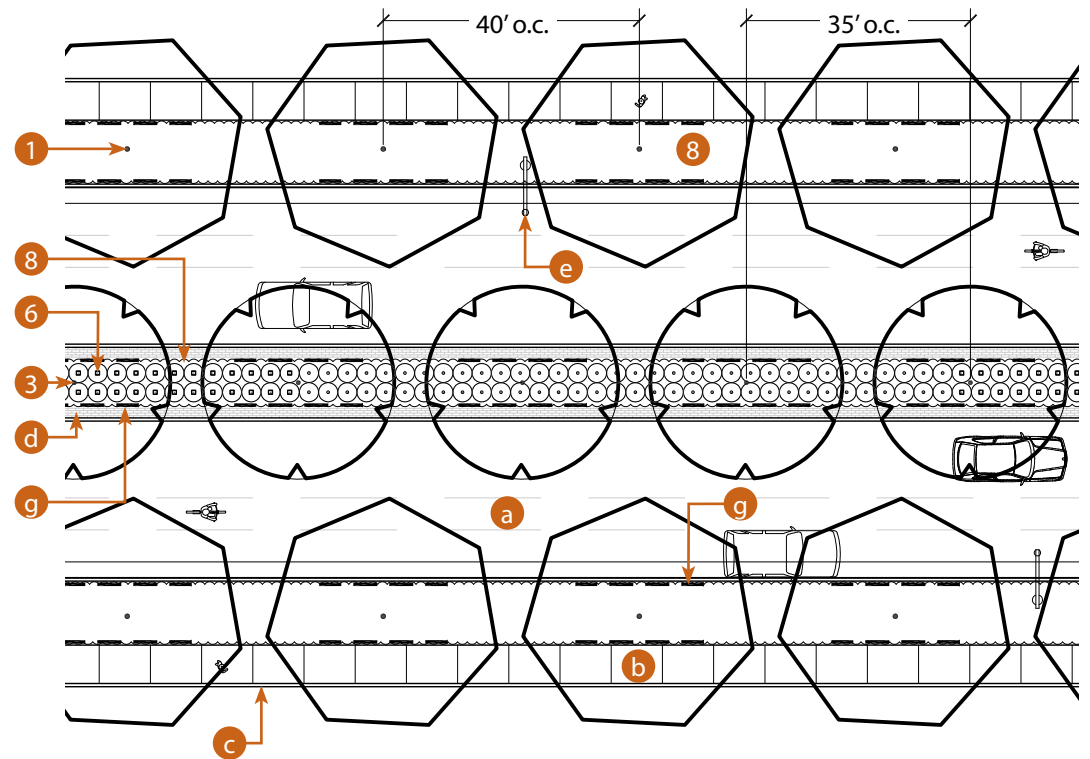
6. Collector - Commercial

Collector - Commercial Streets can be designed with or without on-street parking as approved by the City. For the purposes of this Manual, Collector - Commercial Streets are shown with on-street parking. Collector Commercial streets feature a minimum 24' wide Landscape Area as measured from the back of curb at ROW. As Collector - Commercial Streets will only be adjacent to Office, Light Industrial/Flex and Commercial land uses, both 24' wide Landscape Areas shall be private landscaping designed to the City's satisfaction and maintained by the landowner.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|--|--|
| 1. Primary Street Tree | a. Collector - Commercial (with On-Street Parking) |
| 2. Secondary Street Tree or Accent Tree (not shown) | b. Concrete Sidewalk |
| 3. Landscape Median Tree | c. City of Elk Grove Type 3 Concrete Curb |
| 4. Landscape Median Accent Tree at Landscape Median Nosing (not shown) | d. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket |
| 5. Large Shrub (not shown) | e. Primary Streetlight |
| 6. Medium Shrub (not shown) | f. Pedestrian-Scaled Street Light Located Along Sidewalk (not shown) |
| 7. Small Shrub (not shown) | g. Tree Root Barrier |
| 8. Small Shrubs and Groundcovers | |



Collector - Commercial - Plan

Not to Scale

CHAPTER 2

STREETS & STREET LANDSCAPING: LANDSCAPE CORRIDORS

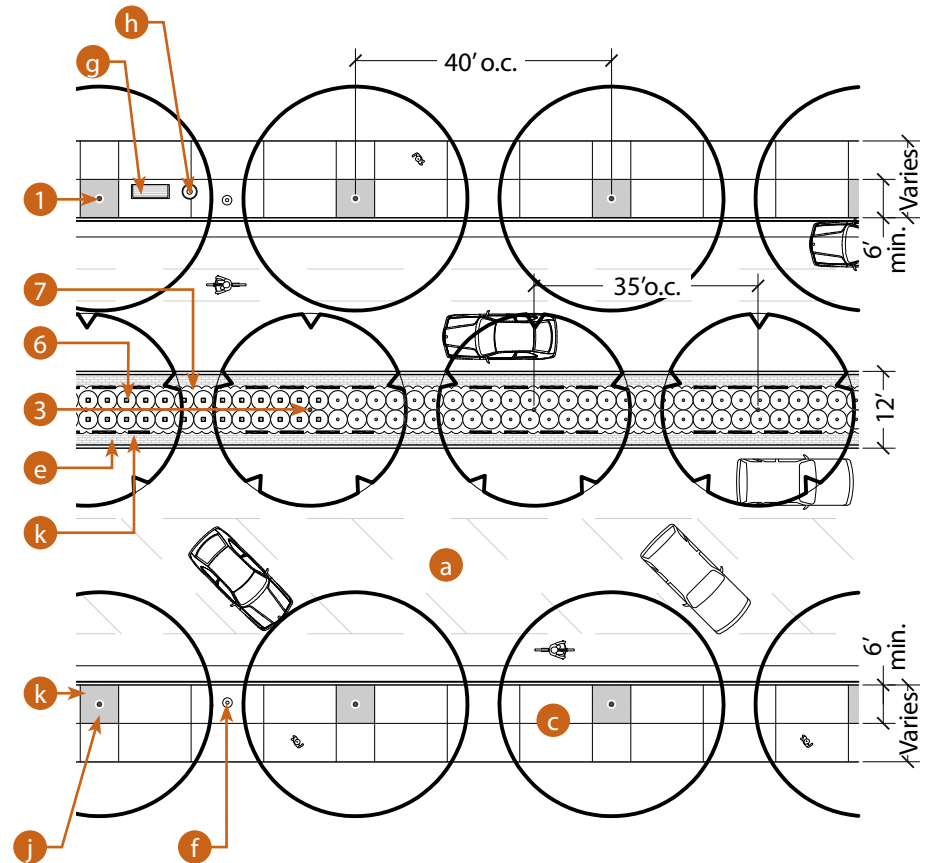
7. Commercial Main Street

There is one Commercial Main Street located within the Plan Area. This street provides for a variety of travel modes, including vehicular, bicycle and pedestrian and is predominately adjacent to Mixed-Use Residential and Mixed-Use Village Center. Due to the proximity to Mixed-Use development, this street emphasizes a pedestrian scaled environment with wide sidewalks, site furnishings and street trees. Additionally, as the Commercial Main Street will only be adjacent to Mixed-Use land use (excluding park land use), any and all Landscape Areas, planting media, and site furnishings shall be private landscaping designed to the City's satisfaction, reviewed and approved by the CCSA, and maintained by the landowner or a maintenance association.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|---|--|
| 1. Primary Street Tree | a. Commercial Main Street |
| 2. Secondary Tree or Accent Tree (not shown) | b. Bulbout (not shown) |
| 3. Landscape Median Tree | c. Concrete Sidewalk |
| 4. Landscape Median Accent Tree at Landscape Median | d. City of Elk Grove Type 3 Concrete Curb (not shown) |
| 5. Large Shrub (not shown) | e. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket |
| 6. Medium Shrub | f. Pedestrian-Scaled Street Light |
| 7. Small Shrubs and Groundcover | g. Bench |
| | h. Trash Receptacle |
| | i. Bike Rack (not shown) |
| | j. Tree Grate |
| | k. Tree Root Barrier (in tree well) |
| | k. Stormwater Planter (not shown) |



Commercial - Plan

Not to Scale

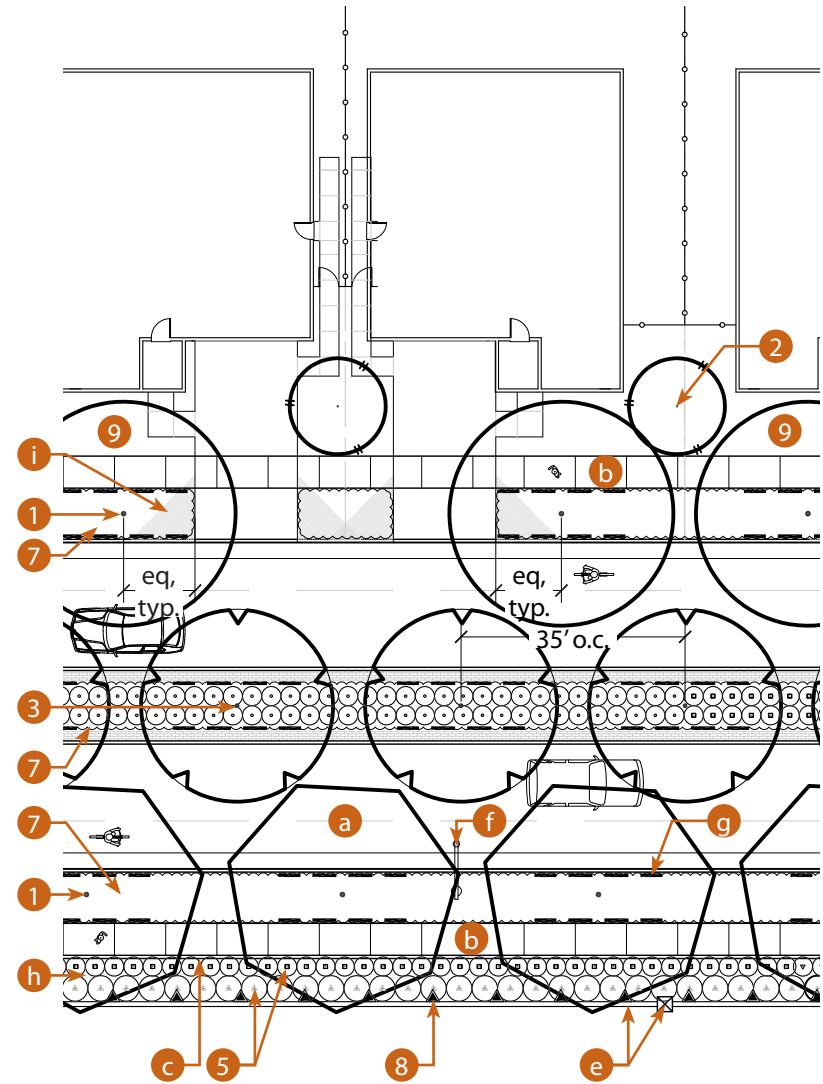
8. Collector - Residential (With Median, No On-Street Parking)

Collector - Residential Streets can be designed with or without a Landscape Median/Turn Pocket, and with or without on-street parking as approved by the City. For the purposes of this section, Collector - Residential streets are shown with a Landscape Median/Turn Pocket and no on-street parking. When single-family residential houses back onto the street, a Community Wall is required at the property line and an additional 8' Landscape Area shall be required to provide screening of the Community Wall. In this application, all landscape improvements including the 8' Landscape Area and the landscaping within the separated sidewalk shall be considered public improvements and shall comply with all City requirements. When single-family residential houses front the street, the entire Landscape Area on that side of the street shall be private landscaping designed to the City's satisfaction and maintained by the landowner.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|--|---|
| 1. Primary Street Tree | a. Collector - Residential Street |
| 2. Secondary Street Tree or Accent Tree (not shown) | b. Concrete Sidewalk |
| 3. Landscape Median Tree | c. City of Elk Grove Type 3 Concrete Curb |
| 4. Landscape Median Accent Tree at Landscape Median Nosing (not shown) | d. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket |
| 5. Medium Shrub | e. Community Wall with Community Pilasters or Concrete Mowstrip (as determined by the City) |
| 6. Small Shrub (not shown) | f. Primary Streetlight |
| 7. Small Shrubs & Groundcover | g. Tree Root Barrier |
| 8. Vine | h. Additional Landscape Area (as required) |
| 9. Landscaping | i. City of Elk Grove Visibility Control Area, typ. |



**Collector - Residential
(With Median, No On-Street Parking) - Plan**
Not to Scale

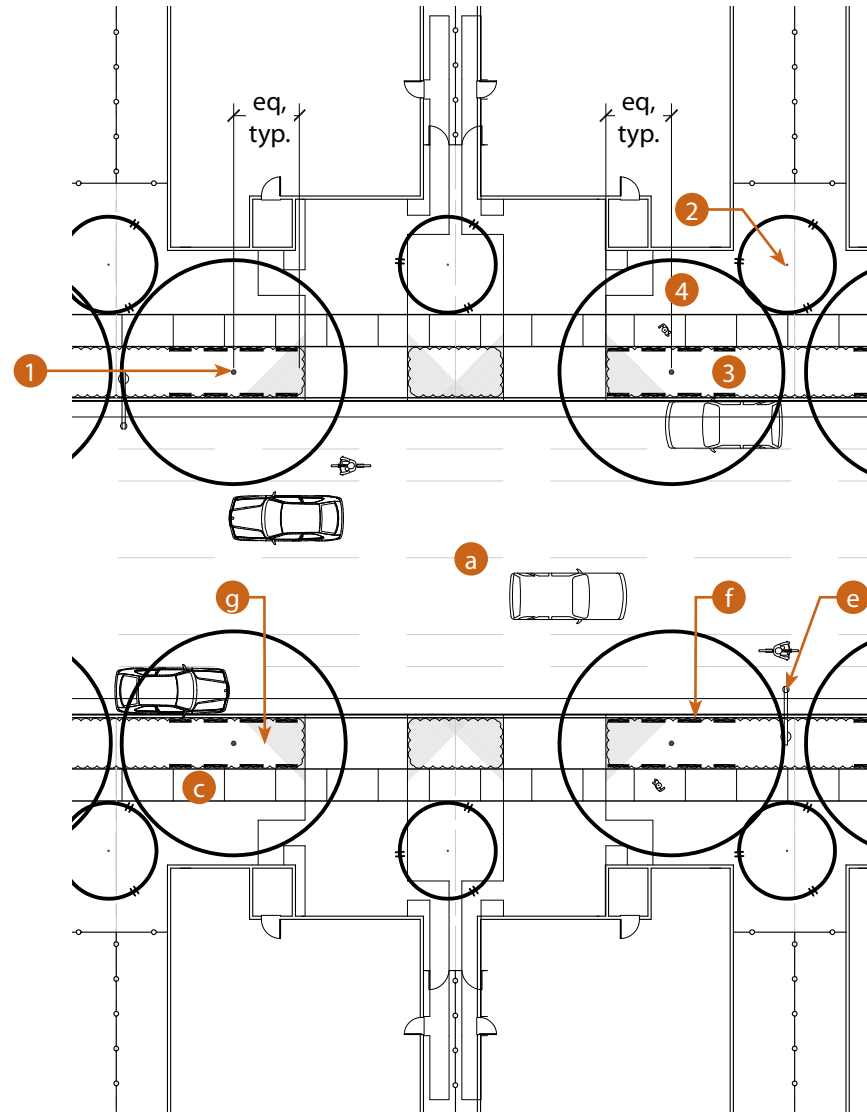
9. Collector - Residential (With On-Street Parking, No Median)

Collector - Residential Streets can be designed with or without a Landscape Median/Turn Pocket, and with or without on-street parking as approved by the City. For the purposes of this section, Collector Residential streets are shown with on-street parking and without a Landscape Median/Turn Pocket. When single-family residential houses back onto the street, a Community Wall is required at the property line and an additional 8' Landscape Area shall be required to provide screening of the Community Wall. In this application, all landscape improvements including the 8' Landscape Area and the landscaping within the separated sidewalk shall be considered public improvements and shall comply with all City requirements. When single-family residential houses front the street, the entire Landscape Area on that side of the street shall be private landscaping designed to the City's satisfaction and maintained by the landowner.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|---|---|
| 1. Primary Street Tree | a. Collector - Residential Street |
| 2. Secondary Street Tree or Accent Tree | b. Bulbout (not shown) |
| 3. Groundcover | c. Concrete Sidewalk |
| 4. Landscaping | d. City of Elk Grove Type 3 Concrete Curb (not shown) |
| | e. Primary Streetlight |
| | f. Tree Root Barrier |
| | g. City of Elk Grove Visibility Control Area, typ. |



**Collector - Residential
(With On-Street Parking, No Median) - Plan**
Not to Scale

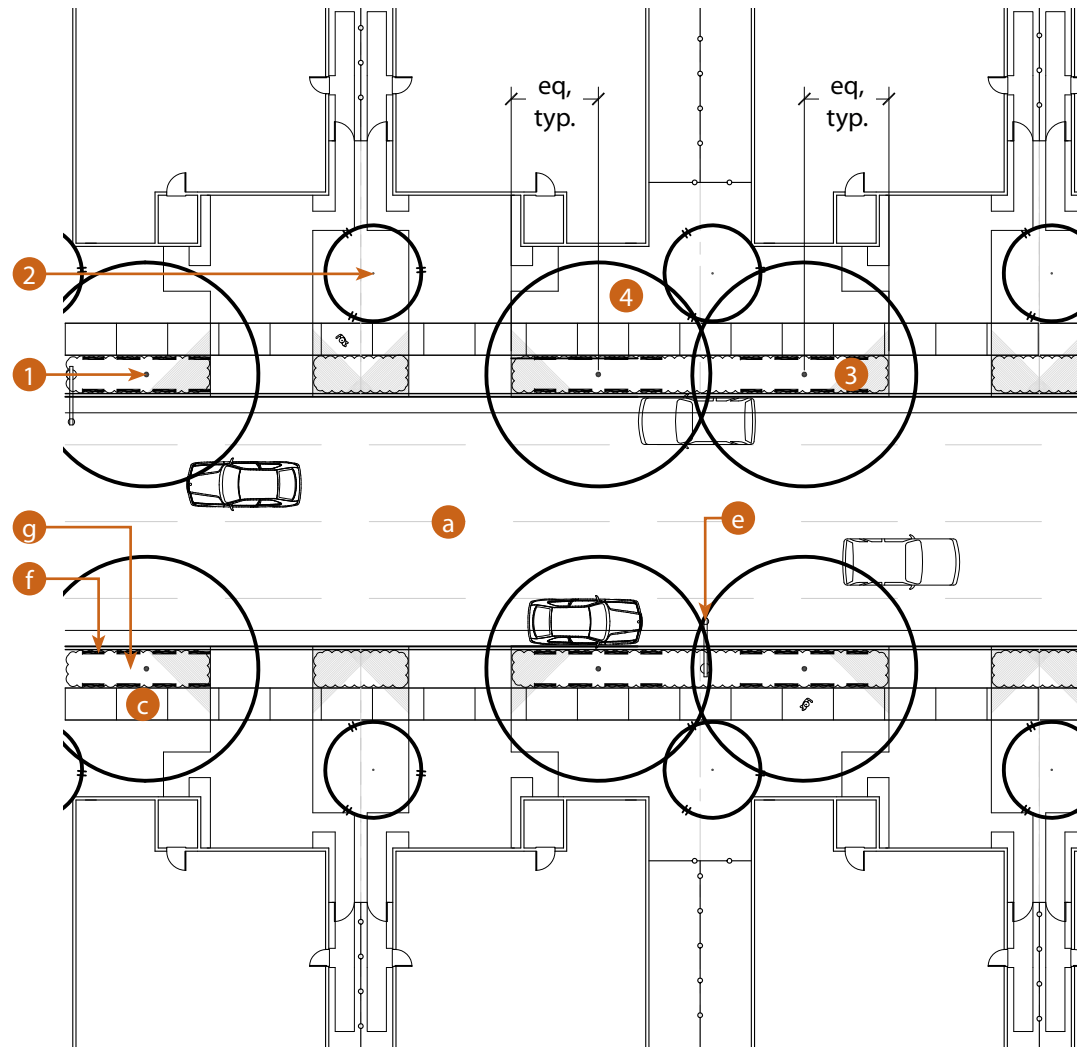
10. Primary Residential Street

Primary Residential Streets provide access into and through the neighborhoods. When single-family residential houses back onto the street, a Community Wall is required at the property line and an additional 8' Landscape Area shall be required to provide screening of the Community Wall. In this application, all landscape improvements including the 8' Landscape Area and the landscaping within the separated sidewalk shall be considered public improvements and shall comply with all City requirements. When single-family residential houses front the street, the entire Landscape Area on that side of the street shall be private landscaping designed to the City's satisfaction and maintained by the landowner.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|---|---|
| 1. Primary Street Tree | a. Primary Residential Street |
| 2. Secondary Street Tree or Accent Tree | b. Bulbout (not shown) |
| 3. Small Shrubs & Groundcover | c. Concrete Sidewalk |
| 4. Landscaping | d. City of Elk Grove Type 3 Concrete Curb (not shown) |
| | e. Primary Streetlight |
| | f. Tree Root Barrier |
| | g. City of Elk Grove Visibility Control Area, typ. |



Primary Residential Street -Plan

Not to Scale

CHAPTER 2

STREETS & STREET LANDSCAPING: LANDSCAPE CORRIDORS

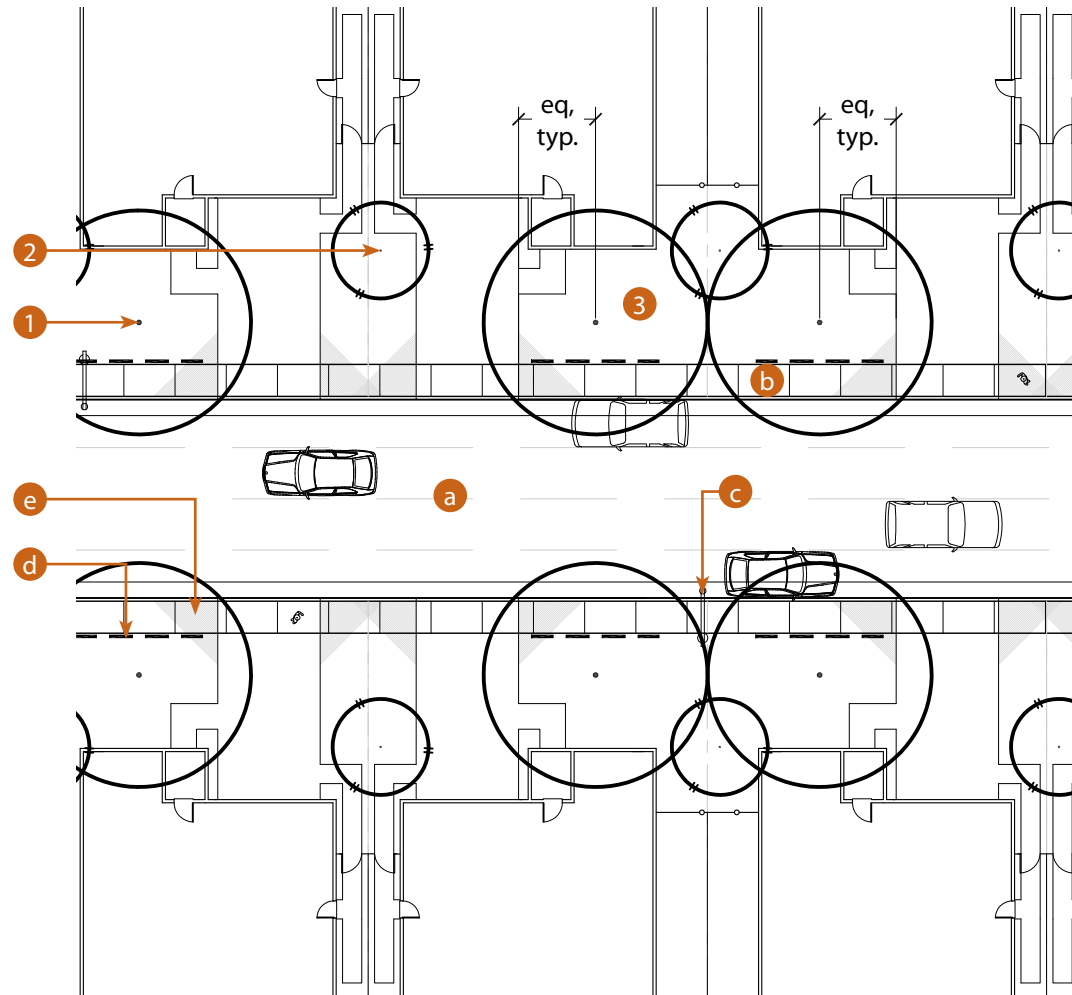
11. Local Residential Street

Local residential streets provide access into and through the neighborhoods. Only single-family residential houses will front a local residential street. Therefore, all landscape improvements shall be private landscaping designed to the City's satisfaction and maintained by the landowner.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|---|--|
| 1. Primary Street Tree | a. Local Residential Street |
| 2. Secondary Street Tree or Accent Tree | b. Concrete Sidewalk |
| 3. Landscaping | c. Primary Streetlight |
| | d. Tree Root Barrier |
| | e. City of Elk Grove Visibility Control Area, typ. |



Local Residential Street - Plan

Not to Scale

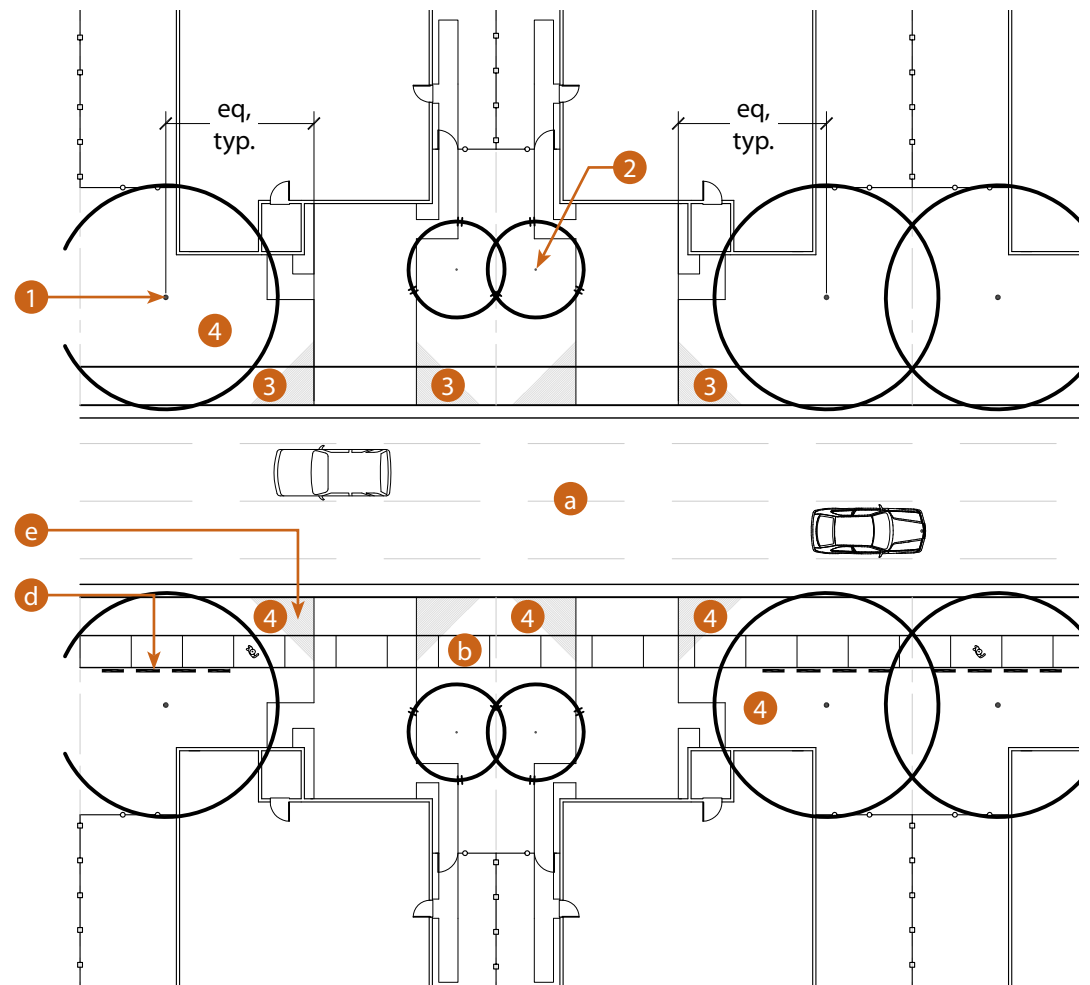
12. Local Estate Residential Street

Local Estate Residential streets provide access into and through estate residential neighborhoods. It differs from other local street types in that drainage is facilitated through roadside bioswales. The unpaved shoulder shall be decomposed granite or similar low maintenance material. The unpaved shoulder material shall be consistent across all residential lots as required by the City. The bioswale shall be landscaped with grasses appropriate for potential periods of inundation, common in this type of application. All landscape improvements shall be private landscaping designed to the City’s satisfaction and maintained by the landowner even within the ROW.

Design Elements

Refer to General Standards & Reference Items section this chapter for more information.

- | | |
|---|--|
| 1. Primary Street Tree | a. Local Estate Residential Street |
| 2. Secondary Street Tree or Accent Tree | b. Concrete Sidewalk |
| 3. Sodded Bioswale Grass | c. Primary Streetlight (not shown) |
| 4. Landscaping | d. Tree Root Barrier |
| | e. City of Elk Grove Visibility Control Area, typ. |



Local Estate Residential Street - Plan

Not to Scale

CHAPTER 2

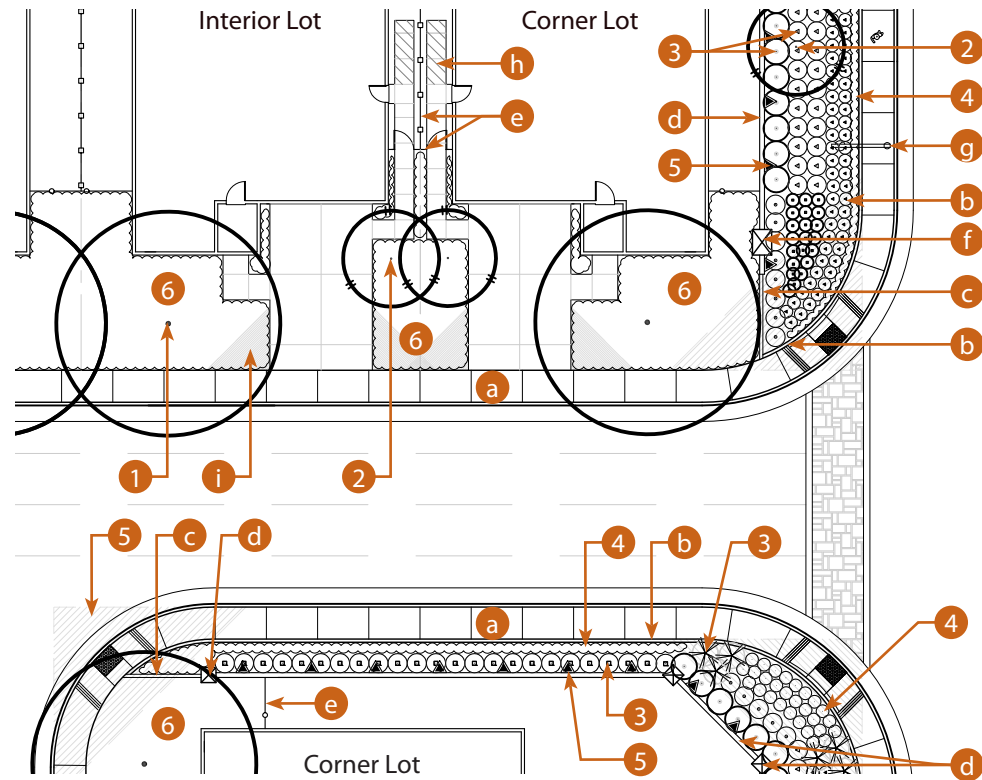
STREETS & STREET LANDSCAPING: RESIDENTIAL YARDS

E. RESIDENTIAL UNIT FRONT YARDS

Residential Unit Front Yards are a critical component to the overall theme of the Plan Area and community. The individual residential unit improvements specified in this section are outside of the ROW for each associated street. Therefore, all landscape improvements shall be private landscaping designed to the City's satisfaction and maintained by the landowner. In this section, an example of both an interior lot and corner lot has been provided. The standards in this chapter regarding Residential Unit Front Yard landscape are the minimum requirements. The Residential Unit Builder/designer may deviate from the planting design as long as the design consistency is preserved throughout the Plan Area. Any deviation to the planting design shall be approved by the City.

In addition to the general landscaping requirements listed in this chapter's General Standards, the following landscape standards specifically apply to Residential Unit Front Yards:

1. A trash receptacle storage area shall be provided behind the front yard Residential Wood Fence within the homeowner's private side-yard. This storage area shall be constructed out of concrete to match the side yard walkway, including finish and color. The minimum trash receptacle storage area dimensions are 10' long x 3' wide and shall be consistent across all Residential Units within the Plan Area.
2. Concrete scoring of all Residential Unit walkways and driveways shall be determined by the Landowner or Residential Unit Builder and shall be approved by the City.



Residential Unit Front Yards - Plan

Not to Scale

Design Elements

Refer to General Standards & Reference Items section this chapter for more information

- | | | |
|--|---|--|
| 1. Primary Street Tree | a. Concrete Sidewalk | f. Neighborhood Entry Monument (Optional) |
| 2. Secondary Street Tree or Accent Tree | b. City of Elk Grove Type 3 Concrete Curb | g. Primary Streetlight |
| 3. Large & Medium Shrub | c. Edging for Residential Lots | h. Trash Receptacle Storage Area (10' x 3') |
| 4. Small & Groundcover | d. Community Wall with Community Pilaster or Residential Wood Fence | i. City of Elk Grove Visibility Control Area, typ. |
| 5. Vine | e. Residential Wood Fence | j. Tree Root Barrier (not shown) |
| 6. Residential Unit Front Yard Landscaping | | |

F. BRIDGES

1. Vehicular Bridge

There are vehicular bridges located on Bilby Road, the Commercial Main Street, and Big Horn Blvd. Final design and engineering requirements of the vehicular bridges shall be determined by the City.

The vehicular bridge includes the following elements:

1. The internal structure of the primary pilaster shall be standard Basalite concrete masonry units*. Contact Basalite at (707) 678-1901 for more information.
2. The stone veneer for the wall shall be a manufactured stone, El Dorado Stone Sanibel Coastal Reef.* Stone shall be a drystack pattern with minimal to no joints between stones. Stone shall be located on all sides of the monument. Stone end pieces shall be used at all wall 90 degree corners. The protrusion of the stone veneer shall not extend beyond the bottom width of the concrete pilaster cap. All stone veneer shall receive two coats of El Dorado Stone Craftshield Manufactured Stone Veneer Protective Product*. Contact El Dorado Stone at (800) 925-1491 for more information.
3. The stone veneer and wainscot sill mortar shall be Orco Blended Products Poly VBM 300, Veneer Bonding Mortar - Poly Modified Mortar* and shall be selected for use on vertical surfaces. Color: Surf*. Contact Orco Blended Products at (951) 818-4054 for more information.
4. The primary pilaster cap shall be a Handalstone custom precast concrete cap*. Profile to match PC5. Bottom width 4'-1" x 3'-1", overall width 4'-5" x 3'-5", height 9". Color: Harvest (73). Texture: Stone Travertine (4). The pilaster cap shall be constructed in four equal pieces and mortared together on site to create one continuous cap. The bottom width of pilaster cap shall extend 1/2" minimum beyond the stone veneer on all sides. Contact Handalstone at (916) 386-1430 for more information.
5. The accent pilaster cap shall be a Handalstone custom precast concrete cap*. Profile to match PC5. Bottom width 28", overall width 31", height 6-1/2". The bottom width of pilaster cap shall extend 1/2" minimum beyond the stone veneer on all sides. Color: Harvest (73). Texture: Stone Travertine (4). Contact Handalstone at (916) 386-1430 for more information.
6. The wainscot sill shall be a Handalstone custom precast concrete wainscot sill*. The wainscot sill shall be 6" deep and protrude out 6" from the wall. Color: Harvest (73). Texture: Stone Travertine (4). Contact Handalstone at (916) 386-1430 for more information.
7. The primary pilaster cap and accent pilaster cap shall be attached with Orco Blended Products R-Lastic waterproof elastomeric coating and VBM Bonder polymer modified thin set*. Color: Pearl*. Contact Orco Blended Products at (951) 818-4054 for more information.
8. The primary pilaster cap and wainscot sill joints shall be finished with Orco Blended Products VP Joint Grout premium sand grout with polymer. Color: Pearl. Contact Orco Blended Products at (951) 818-4054 for more information.
9. The 2" square railings are constructed out of square tubular steel as required by the City, with a black painted finish, welded together to create a consistent bridge railing.

* = Or approved equivalent

CHAPTER 2

STREETS & STREET LANDSCAPING: VEHICULAR BRIDGE

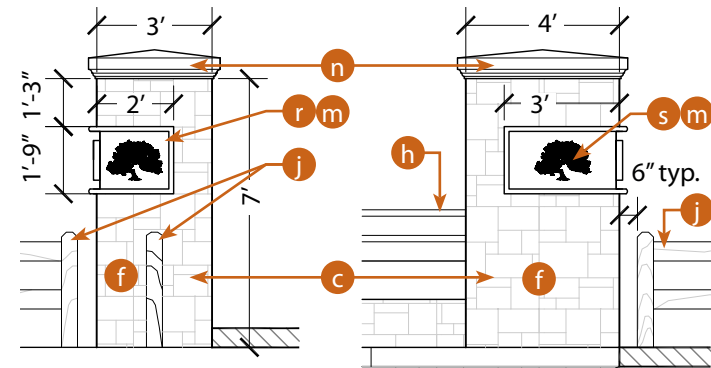
10. The metal wrap-around panel attached to the wall shall be a 1" thick panel, with a 3-1/2" high x 1-1/2" wide lip all sides which abuts the stone veneer. The metal wrap-around panel shall be attached to the block wall of the primary pilaster. The metal panel shall be one continuous piece of metal to prevent gaps. The metal panel shall be powder coated with the color Copper (Stellix 49/90620)* and finished with a clear top coat as available from Tiger Drylac USA*, contact (800) 243-8148 for more information. This color shall be used on all bridge primary pilaster.
11. The logo attached to the metal wrap-panel shall be designed and/or selected by the City. The logo shall be laser cut aluminum with an acrylic paint finish, and attached to the CMU block wall of the pilaster through the metal wrap-around panel. The logo shall be located on the front and channel side of the pilaster. The logo shall be approximately 12" in height and shall be approximately 2" thick. The logo shall be surfaced mounted and held a minimum of 1/2" off of the face of the metal panel to provide visual relief and shadow. The logo's color shall match the sign lettering color on all Primary and Secondary Entry Monuments (refer to Chapter 3). The specific size of the logo shall be selected by the City and used on all vehicular bridges.
12. The Landscape Median across each vehicular bridge shall only include shrubs and groundcover. No trees shall be located within any Landscape Median on a vehicular bridge.

* = Or approved equivalent

Design Elements

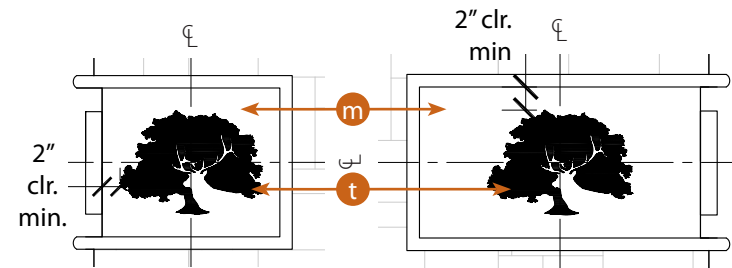
Refer to General Standards & Reference Items section this chapter for more information

- | | | | | |
|----------------------------|---|--|---|---|
| 1. Medium Shrub | a. Major Drainage Channel (refer to Chapter 5) | e. Poured-In-Place Concrete Wall | j. Split Rail Fence | o. CMU Block at Primary Monument |
| 2. Small Shrub (not shown) | b. Major Drainage Channel Landscape Corridor (refer to Chapter 5) | f. Stone Veneer | k. Primary Streetlight | p. Mortar Bed |
| 3. Groundcover | c. Primary Pilaster | g. Wainscot Sill | l. Precast Culvert (as required) | q. Metal Logo Attached to Wrap-Around Panel |
| | d. Accent Pilaster | h. 2" Square Railing | m. Metal Wrap-Around Panel (refer to Metal Wrap-Around Panel Attachment detail) | r. Logo Enlargement A |
| | | i. Colored Stamped Concrete Maintenance Safety Strip at Landscape Median/Turn Pocket | n. Pilaster Cap | s. Logo Enlargement B |
| | | | | t. Logo |



Elevation A - Not to Scale

Elevation B - Not to Scale



Logo Enlargement A

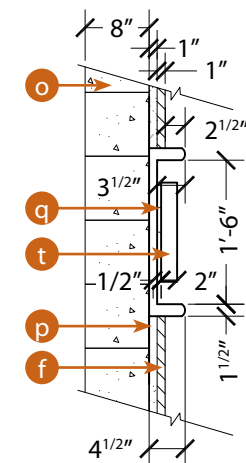
Logo Enlargement B

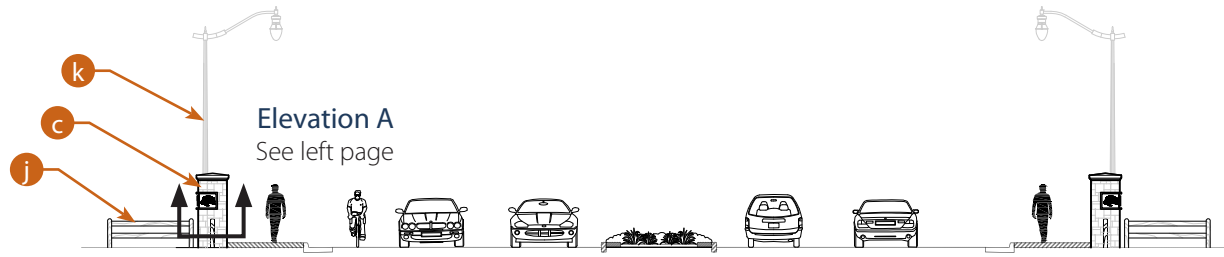
Not to Scale

Not to Scale

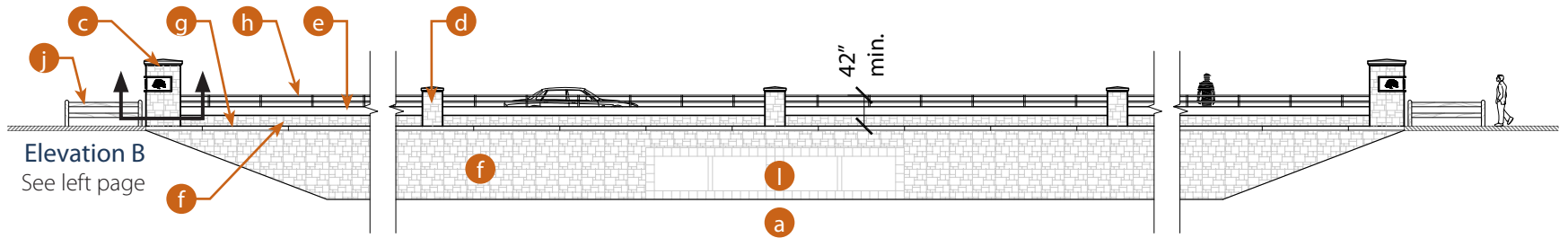
Metal Wrap-Around Panel Attachment

Not to Scale





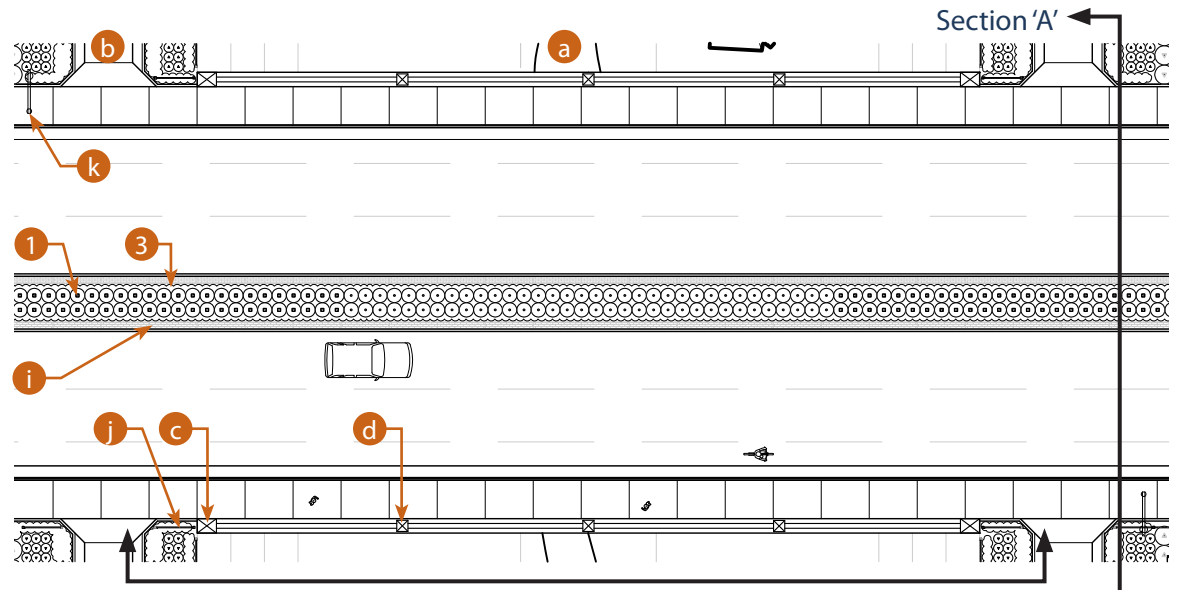
Section 'A' - Not to Scale



Section 'B' - Not to Scale



Example 1 & 2: Vehicular Bridge



Plan - Not to Scale