

## RESOLUTION NO. 2023-253

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE FINDING THE ELK GROVE LIBRARY RELOCATION PROJECT EXEMPT FROM CEQA UNDER SECTION 15301 (EXISTING FACILITIES) AND APPROVE A CIP DESIGN REVIEW FOR THE ELK GROVE LIBRARY RELOCATION PROJECT (WFC046) (9260 ELK GROVE BOULEVARD, APN 134-0050-001)

**WHEREAS**, the City of Elk Grove (City) is a member of the Sacramento Public Library Authority (SPL), a Joint Powers Authority (JPA); and

**WHEREAS**, under the terms of the SPL JPA, each local agency is responsible for providing the physical space necessary for public libraries within its jurisdiction; and

**WHEREAS**, in 2006, the City purchased the property at 8900 Elk Grove Boulevard, completed certain improvements, and provided the building to SPL for the Elk Grove Library; and

**WHEREAS**, in 2018, the City completed a Library and Cultural Arts Center Study (Study), which identified the long-term needs for library and cultural arts facilities in the City; and

**WHEREAS**, the Study identified that current library facilities are undersized for the current population and that both the Old Town and Franklin branches are not well configured and have poor operational characteristics; and that specifically the existing Elk Grove Library is undersized, has insufficient parking, and is not configured for optimum SPL operations; and

**WHEREAS**, in 2007, the City approved the Rite Aid Pharmacy Design Review (Project #EG-06-1022), located at 9260 Elk Grove Boulevard, APN 134-0050-001; and

**WHEREAS**, in 2019, the pharmacy ceased operations; and

**WHEREAS**, in 2021, the City Council authorized purchase of the property for possible use as a relocated Elk Grove Library (the Project); and

**WHEREAS**, in summer 2021, the City and SPL began conceptual design for a relocated Elk Grove Library at the Project site; and

**WHEREAS**, the Project site is within the Old Town Special Planning Area (OTSPA) with a classification of Commercial; and

**WHEREAS**, the OTSPA Commercial listing allows for Commercial-Cultural as permitted uses by right; and

**WHEREAS**, the Development Services Director has determined that a library is substantially similar to other uses listed as permitted uses in the Commercial-Cultural allowed use listing in the OTSPA and has issued a similar use determination as provided by OTSPA Table 2 – Permitted and Conditionally Permitted Land Uses, Footnote 8; and

**WHEREAS**, based upon the circumstances of the Project as a City Capital Improvement Program (CIP) project, and in keeping with Elk Grove Municipal Code Section 23.16.080 (Design Review), a CIP Design Review is required for the Project, which is subject to City Council action upon recommendation of the Planning Commission; and

**WHEREAS**, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APN 134-0050-001; and

**WHEREAS**, the City determined that the Project is subject to the California Environmental Quality Act; and

**WHEREAS**, State CEQA Guidelines Section 15301 sets forth an exemption to CEQA for the minor alteration of existing public or private structures, facilities, or equipment involving negligible or no expansion of existing or former use; and

**WHEREAS**, the Planning Commission held a duly-noticed public hearing on September 25, 2023, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting and voted 3-0 (Commissioners Poole and Singha absent) to recommend approval to the City Council; and

**WHEREAS**, the City Council held a duly-noticed public hearing on October 25, 2023, as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Elk Grove hereby find that no further environmental review is required under the California Environmental Quality Act for the Project pursuant to State CEQA Guidelines Section 15301 based upon the following finding:

## **CEQA**

Finding: No further environmental review is required under the California Environmental Quality Act pursuant to State CEQA Guidelines Section 15301.

Evidence: The California Environmental Quality Act (Section 21000, et. seq. of the California Public Resources Code, hereafter CEQA) requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.” The proposed project is a project under CEQA.

The proposed project is exempt from CEQA under State CEQA Guidelines Section 15301 (Existing Facilities). This exemption applies to the minor alteration of existing public or private structures, facilities, or equipment involving negligible or no expansion of existing or former use. Examples noted in the exemption include, but are not limited to:

- Interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.
- Additions to existing structures provided that the addition will not result in an increase of more than fifty percent of the floor area of the existing structure or 2,500 square feet, whichever is less, or 10,000 square feet if consistent with the General Plan and not in an environmentally sensitive area.

The proposed Project involves the remodel of an existing 18,147 square-foot building for occupancy by the Elk Grove Library. This use is similar to the prior retail

use, in that the overall intensity and hours of operation are substantially similar to the prior retail use. The proposed site improvements involve interior remodeling of the building, including new partitions, plumbing, and electrical conveyances. Exterior improvements focus on the installation of electrical vehicle charging infrastructure, new patio space, and a “Library of Things” shed. The proposed shed structure measures approximately 96 square feet, which is substantially less than building additions allowed by this exemption. The site has been previously developed and is not within an environmentally sensitive area. Therefore, the Project qualifies for the identified exemption and no further environmental review is required.

**AND, BE IT FURTHER RESOLVED**, that the City Council of the City of Elk Grove hereby approves a CIP Design Review for the Project, as described in Exhibit A and illustrated in Exhibit B, subject to the conditions of approval in Exhibit C (all incorporated herein by this reference), based upon the following findings as established in the OTSPA.

### **Design Review**

Finding #1: The proposed project is compatible with the historical character of the community.

Evidence #1: The architecture and design of the proposed Project reflects the historical character of the area and is compatible with the historic character of the community. The building utilizes a collection of brick, stucco, and tile, which are found in other buildings within the neighborhood. The Project has been designed to comply with the standards and guidelines of the OTSPA, including complementary colors and roof forms.

Finding #2: The proposed project is consistent with the objectives of the General Plan, the Zoning Code, and the Old Town Elk Grove Special Planning Area Design Standards and Guidelines.

Evidence #2: The Project is consistent with the objectives of the General Plan, which designates this site as commercial. The Project complies with Land Use Policy LU-6-1, which provides for maintaining and improving the aesthetic quality and architectural diversity of the Old Town historical district. The Project is consistent with the development standards of the Zoning Code and the OTSPA relative to setbacks, height, mass, and overall building form.

Finding #3: The proposed architecture, site design, and landscaping are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #3: The architecture of the building is suitable for the purpose of the building. The landscaping has been designed to comply with City standards and will be enhanced and refreshed as part of the Project. New plaza features will integrate to the existing built form and provide additional gathering spaces for library patrons.

Finding #4: The architecture, the character, scale and quality of the design, the relationship with the site and other buildings, building materials, colors, the screening of exterior appurtenances, exterior lighting and signing, and similar elements establish a clear design concept and are compatible with the character of buildings on adjoining and nearby properties.

Evidence #4: The design of the Project establishes a clear design concept and is compatible with nearby properties. For example, adjoining developments to the north and east utilizes similar materials and roof forms. Other developments to the west of the Project within the OTSPA also utilizes these materials and forms. Proposed building colors complement the surrounding area.

Finding #5: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #5: The Project provides an entry along Elk Grove Boulevard that establishes a pedestrian interface along the street. A bicycle and pedestrian path has been provided across the northern portion of the site along Elk Grove Boulevard. Vehicular access and circulation are provided on site and can accommodate access and circulation for emergency vehicles. Pedestrian pathways across the site are preserved and enhanced with the new plaza spaces.


**AND, BE IT FURTHER RESOLVED**, that the City Council of the City of Elk Grove hereby designates the Project as being subject to the City's Percent for the Arts Program as provided in Resolution No. 2016-226, consistent with the provisions of Section 4, Eligible Funding.

**PASSED AND ADOPTED** by the City Council of the City of Elk Grove this 25<sup>th</sup> day of October 2023




BOBBIE SINGH-ALLEN, MAYOR of the  
CITY OF ELK GROVE

ATTEST:

  
JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:

  
JONATHAN P. HOBBS,  
CITY ATTORNEY

## EXHIBIT A: PROJECT DESCRIPTION

The proposed Project, **the Elk Grove Library Relocation (WEF046)**, involves the remodel of an existing 18,147 square-foot retail building for occupancy as the Elk Grove Library. The existing library at 8900 Elk Grove Boulevard would, upon completion of the proposed improvements, relocate operations to the Project site. The proposed renovations include the addition of various doors and windows to the exterior of the building, repainting of the structure, and various improvements to the Project site, including addition of patio spaces, electric vehicle charging infrastructure, and a shed for storage of a “Library of Things”.

### Design Review

The following modifications to the existing building and Project site which are illustrated further in Exhibit B, would be made as part of the Project. These improvements are in addition to the interior remodel, described in Exhibit B.

- Replacement of some of the existing display windows with clear windows into the building.
- Addition of doors and windows for additional access and visibility into the structure.
- Creation of a new patio space immediately outside the community room (the Outdoor Meeting Room Patio).
- Addition of an after-hours book locker
- Placement of additional bike racks at the main entrance.
- Addition of a flagpole outside the main entrance.
- Replacement of the fountain structure at the corner of Waterman Road and Elk Grove Boulevard with a focal feature (potentially public art). The exact design of this will be determined at a later date.
- Creation of a patio space in the northeast corner as part of the children’s area of the library.
- Addition of an outdoor staff break area along Waterman Road.
- Addition of a Library of Things along the south property line. This structure, which would be a shed, will store a variety of equipment that could be checked out from the library.
- Addition of a parking space for a Book Mobile.
- Addition of electric vehicle (EV) charging equipment in the parking lot. The site would be improved with 10 EV stalls on opening day, with the opportunity to expand with an additional 12 stalls (22 stalls in total) as demand increases.
- Cleanup and improvement to the landscaping throughout, including completing maintenance and preventative pruning to the existing trees.
- Repainting the building.
- Replace the roofing along the colonnade shed roofs on the north and west elevations. The replacement will be a standing seam metal roof, with a similar color to the existing one.

# EXHIBIT B LIBRARY RELOCATION PROJECT PLANS

## ELK GROVE LIBRARY RETROFIT

9260 ELK GROVE BLVD, ELK GROVE CA 95624  
ENTITLEMENT PACKAGE  
SEPTEMBER 1, 2023



**GROUP 4**  
ARCHITECTURE  
RESEARCH +  
PLANNING, INC  
211 LINDEN AVENUE  
SO. SAN FRANCISCO  
CA 94080 USA  
650.871.0709



**ELK GROVE  
LIBRARY RETROFIT**  
9260 ELK GROVE BLVD  
ELK GROVE  
CA 95624

Project Arch.	—
CA REG.	—
PROJECT:	22583-02

ISSUE	DATE
SD SUBMITTAL	03/03/2022
ENTITLEMENT PACKAGE	09/01/2023

### PROJECT TEAM

#### ARCHITECT:

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211 LINDEN AVENUE  
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CONTACT: DAWN MARKES

#### STRUCTURAL:

ZFA STRUCTURAL ENGINEER  
801 UNIVERSITY AVENUE SUITE 185  
SACRAMENTO, CA 95825  
T: (650) 384-8869

CONTACT: STEVE R. PATTON

#### CIVIL:

BKF ENGINEER  
255 SHORELINE DRIVE, SUITE 200  
REDWOOD CITY, CA 94065  
T: (650) 482-6300

CONTACT: JONATHAN TANG

#### ELECTRICAL & LIGHTING:

ATIUM ENGINEERING  
3533 YORK LANE  
SAN RAMON, CA 94582  
T: (913) 961-1658

CONTACT: DAVID MAINO

#### LANDSCAPE:

CALLANDER ASSOCIATES  
12190 TRIBUTARY POINT DRIVE, SUITE 140  
GOLD RIVER, CA 95670  
T: (916) 985-4366

CONTACT: MELISSA RUTH

#### MEP & FIRE PROTECTION:

BLUE FOREST ENGINEERING INC.  
3622 KINGSLEY STREET  
OAKLAND, CA 94610  
T: (510) 924-8205

CONTACT: TYLER BRADSHAW

#### ACOUSTICS & TELECOM:

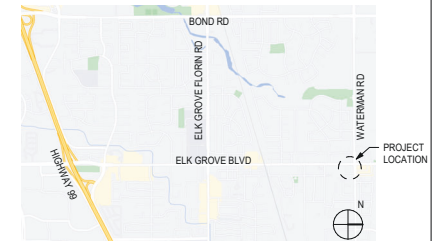
SMITH, FAUSE & MCDONALD, INC.  
351 8TH STREET  
SAN FRANCISCO, CA 94103  
T: (415) 255-9140

CONTACT: PETER MCDONALD

#### PROJECT SCOPE OF WORK:

THIS PROJECT IS THE RENOVATION OF A FORMER  
PHARMACY BUILDING INTO A LIBRARY. IT IS A FULL  
INTERIOR RENOVATION WITH ASSOCIATED SITE  
WORK, AND LIMITED EXTERIOR MODIFICATION TO  
ADD AND EXPAND OPENINGS.

#### LOCATION MAP:



**DRAFT FOR INTERNAL  
USE ONLY. NOT FOR  
CONSTRUCTION.**

SHEET TITLE AND NO.  
COVER SHEET

A0.0



GROUP 4

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ELK GROVE



**ELK GROVE  
LIBRARY RETROFIT**

**9260 ELK GROVE BLVD  
ELK GROVE  
CA 95624**

**SHEET INDEX ENTITLEMENT PACKAGE**

<b>SHEET NO.</b>	<b>SHEET NAME</b>
A0.0	COVER SHEET
A0.1	SHEET INDEX
A0.2	ABBREVIATIONS & LEGEND
A0.4-7	INTERIOR PERSPECTIVES (FOR REFERENCE ONLY)
L1.0	CONCEPT PLAN
L1.1	OUTDOOR MEETING ROOM PATIO
L1.2	OUTDOOR LIBRARY PATIO & MISCELLANEOUS
L1.3	LANDSCAPE CONCEPT IMAGES
A2.0-1	DEMOLITION FIRST FLOOR PLAN
A2.0-2	DEMOLITION MEZZANINE FLOOR PLAN
A2.0-3	DEMOLITION ROOF PLAN
A2.0-4	DEMOLITION ELEVATIONS
A2.0-5	DEMOLITION ELEVATIONS
A2.0-6	DEMOLITION REFLECTED CEILING PLAN- FIRST FLOOR
A2.1-1	GRID PLAN
A2.4-1	FIRST FLOOR PLAN
A2.4-2	FLOOR PLAN - MEZZANINE
A2.4-3	ROOF PLAN
A3.1-3	BUILDING ELEVATIONS PRESENTATION
A3.1-4	BUILDING ELEVATIONS PRESENTATION
A3.2-1	ENLARGED WINDOW ELEVATIONS (EXTERIOR)
A3.2-2	ENLARGED WINDOW ELEVATIONS (EXTERIOR)
A3.4-1	BUILDING SECTIONS
A4.1-1	FINISH FLOOR PLAN
A5.0-1	INTERIOR ELEVATIONS
A5.0-2	INTERIOR ELEVATIONS
A5.0-3	INTERIOR ELEVATIONS
A5.0-4	INTERIOR ELEVATIONS
A5.0-5	INTERIOR ELEVATIONS
A5.0-6	INTERIOR ELEVATIONS
A5.0-7	INTERIOR ELEVATIONS
A6.0-1	REFLECTED CEILING PLAN - FIRST FLOOR LOW
A6.0-2	REFLECTED CEILING PLAN - FIRST FLOOR HIGH
A6.0-3	REFLECTED CEILING PLAN - MEZZANINE
A10.1-1	FURNITURE PLAN- FIRST FLOOR (N.I.C., FOR REFERENCE ONLY)

Project Arch. ---  
CA REG. ---  
PROJECT: 22583-02

ISSUE DATE  
SD SUBMITTAL 03/03/2022  
ENTITLEMENT PACKAGE 09/01/2023  
- -  
- -

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SHEET TITLE AND NO.  
SHEET INDEX

**A0.1**



**GROUP 4**  
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**ARCHITECTURAL DRAWING ABBREVIATIONS**

A.B. ANCHOR BOLT	F.W. FOUNDATION	P.C. PORTLAND CEMENT	W.C. WATER CLOSET
ABV. ABOVE	F.E. FIRE EXTINGUISHER	P.E. PHENOLIC	W.D. WATER HEATER
A.C. ASPHALT CONCRETE PAVING	F.E.C. FIRE EXTINGUISHER CABINET	P.L. PROPERTY LINE	W.H. WINDOW
A.C.T. ACOUSTIC CEILING TILE	F.F. FINISHED FLOOR	P.LAM. PLASTIC LAMINATE	W/O. WITHOUT
ACOUS. ACOUSTICAL	F.F.E. FINISHED FLOOR ELEVATION	PLAS. PLASTER	W.P. WATERPROOF OR WATERPROOFING
A.D. AREA DRAIN	F.G. FIXED GLASS	PLUMB. PLUMBING	W.P. WORK POINT
ADD. ADDITIONAL	F.H.C.S. FLAT HEAD COUNTERSUNK	PLYWD. PLYWOOD	W.SCT. WAINGSCOT
ADJ. ADJUSTABLE	FIN. FINISH	PR. PAIR	WT. WEIGHT
A.E.S.S. ARCHITECTURAL EXPOSED STRUCTURAL STEEL	FL. FLOOR	PRCST. PRECAST	
A.F.F. ABOVE FINISH FLOOR	FLX. FIXTURE	PREFIN. PREFINISHED	
AGGR. AGGREGATE	FLASH. FLASHING	PT. POINT	
ALT. ALTERNATE	FLUOR. FLUORESCENT	PTD. PAINTED	
AL. ALUMINUM	F.O.C. FACE OF CONCRETE	P.T.D. PAPER TOWEL DISPENSER	
ALUM. ALUMINUM	F.O.F. FACE OF FINISH	P.T.D.R. COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE	
APPROX. APPROXIMATE	F.O.M. FACE OF MASONRY	P.V.C. POLYVINYLCHLORIDE	
ARCH. ARCHITECTURAL, ARCHITECT	F.O.S. FACE OF STUD	(R) REMOVE EXISTING	
ASPH. ASPHALT	F.R.P. FIBERGLASS REINFORCED PANEL	(RL) RELOCATE EXISTING	
	FRFP. FIREPROOF	R. RISER	
	FRFP. FIREPROOFING	RAD. RADIUS	
	F.S. FOOD SERVICE	R.D. ROOF DRAIN	
	FT. FOOT OR FEET	REF. REFERENCE	
	FTG. FOOTING	REFL. REFLECTED	
	FURR. FURRING	REFR. REFRIGERATOR	
		REQ. REINFORCED OR REINFORCING	
		R.E.S. RESILIENT EDGE STRIP	
		RESIL. RESILIENT	
		REGTR. REGISTER	
		RM. ROOM	
		R.O. ROUGH OPENING	
		RV. ROOF VENT	
		R.W.L. RAIN WATER LEADER	
		S. SOUTH	
		S.A.D. SEE ARCHITECTURAL DOCUMENTS	
		S.C.D. SEE CIVIL DOCUMENTS	
		S.E.D. SEE ELECTRICAL DOCUMENTS	
		S.G.D. SEE GRAPHIC DOCUMENTS	
		S.L.D. SEE LANDSCAPE DOCUMENTS	
		S.M.D. SEE MECHANICAL DOCUMENTS	
		S.P.D. SEE PLUMBING DOCUMENTS	
		S.S.D. SEE STRUCTURAL DOCUMENTS	
		S.T.D. SEE TELECOM AND AV DOCUMENTS	
		S.C.P. SOLID CORE	
		SCH. SCHEDULE	
		S.D. SOAP DISPENSER	
		S.F. SQUARE FOOT	
		SH. SHELF	
		SHLV. SHELVES	
		SECT. SECTION	
		SHWR. SHOWER	
		SHT. SHEET	
		SHTG. SHEATHING	
		SIM. SIMILAR	
		SK. SINK	
		S.N.D. SANITARY NAPKIN DISPENSER	
		S.N.R. SANITARY NAPKIN RECEPTACLE	
		SOFF. SOFFIT	
		SOF. SPECIFICATION	
		SQ. SQUARE	
		S.S. STAINLESS STEEL	
		STA. STATION	
		STD. STANDARD	
		STL. STEEL	
		STOR. STORAGE	
		STR. STRUCTURAL	
		STUCT. STRUCTURE	
		SUSP. SUSPENDED	
		SYM. SYMMETRICAL	
		T. TREAD	
		T.B. TOWEL BAR	
		T.C. TOP OF CURB	
		TEL. TELEPHONE	
		TEMP. TEMPERED	
		TEXT. TEXTURE	
		THK. THICK	
		THRES. THRESHOLD	
		T.P. TOP OF PAVEMENT	
		T.P.D. TOILET PAPER DISPENSER	
		T.S. TUBE STEEL	
		T.O. TOP OF	
		T.O.B. TOP OF BEAM	
		T.O.C. TOP OF CURB OR TOP OF CONCRETE	
		T.O.P. TOP OF PARAPET	
		T.O.R. TOP OF ROOF	
		T.O.S. TOP OF STEEL	
		T.O.W. TOP OF WALL	
		TYP. TYPICAL	
		UNF. UNFINISHED	
		U.O.N. UNLESS OTHERWISE NOTED	
		UR. URINAL	
		V.C.T. VINYL COMPOSITE TILE	
		VERT. VERTICAL	
		VEST. VESTIBULE	
		V.I.F. VENTRIFF IN FIELD	
		V.T.R. VENT TO ROOF	
		W. WEST	
		WI. WITH	

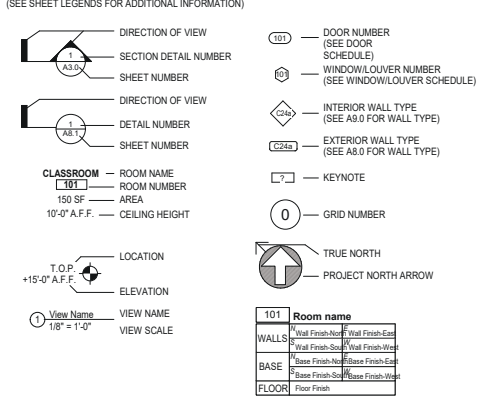
**ARCHITECTURAL DRAWING TITLE ABBREVIATIONS**

<b>NOTE:</b> THE ABBREVIATIONS BELOW APPLY TO DETAIL DRAWING TITLES.		<b>NOTE:</b> THE ABBREVIATIONS BELOW APPLY TO PLAN AND ELEVATION DRAWING TITLES.	
I	INTERIOR	(E)	EXISTING
E	EXTERIOR	CP	CEILING PLAN
BC	BICYCLE CANOPY	CPE	ENLARGED CEILING PLAN
CL	CEILING	EE	ENLARGED ELEVATION
CS	CASEWORK	EL	ELEVATION
DA	DISABLED ACCESS COMPLIANCE	FP	FLOOR PLAN
DR	DOOR	FPE	ENLARGED FLOOR PLAN
EQ	EQUIPMENT	FPR	REFERENCE FLOOR PLAN
FL	FLOOR	GR	GRID PLAN
GL	WINDOW	RCP	REFLECTED CEILING PLAN
MP	METAL PANEL	RP	ROOF PLAN
PN	PENETRATIONS	RRR	REFERENCE ROOF PLAN
RF	ROOF	SP	SITE PLAN
SG	SIGNAGE		
ST	SITE		
VC	VERTICAL CIRCULATION		
WA	WALL		
WP	WATERPROOFING BELOW GRADE		
WS	WINDOW SCHEDULE		

**WALL TYPE LEGEND**



**ARCHITECTURAL DRAWING SYMBOLS LEGEND**



**ELK GROVE LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

Project Arch. —  
 CA REG. —  
 PROJECT: 22583-02

ISSUE DATE  
 SD SUBMITTAL 03/03/2022  
 ENTIREMENT PACKAGE 09/01/2023

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SHEET TITLE AND NO.  
**ABBREVIATIONS & LEGEND**

**A0.2**

24"x36"





GROUP 4

ARCHITECTURE  
RESEARCH +  
PLANNING, INC

211 LINDEN AVENUE  
SO. SAN FRANCISCO  
CA 94080 USA  
650-871-0709



CITY OF  
**ELK GROVE**  
**sac**  
**idb**

**ELK GROVE  
LIBRARY RETROFIT**

**9260 ELK GROVE BLVD  
ELK GROVE  
CA 95624**

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SHEET TITLE AND NO.  
INTERIOR  
PERSPECTIVES  
(FOR REFERENCE  
ONLY)

**A0.4-7**



① IN- INTERIOR PERSPECTIVES - MARKET PLACE LOOKING WEST.  
3/4" = 1'-0"



② IN- INTERIOR PERSPECTIVE - MARKETPLACE LOOKING EAST.  
3/4" = 1'-0"







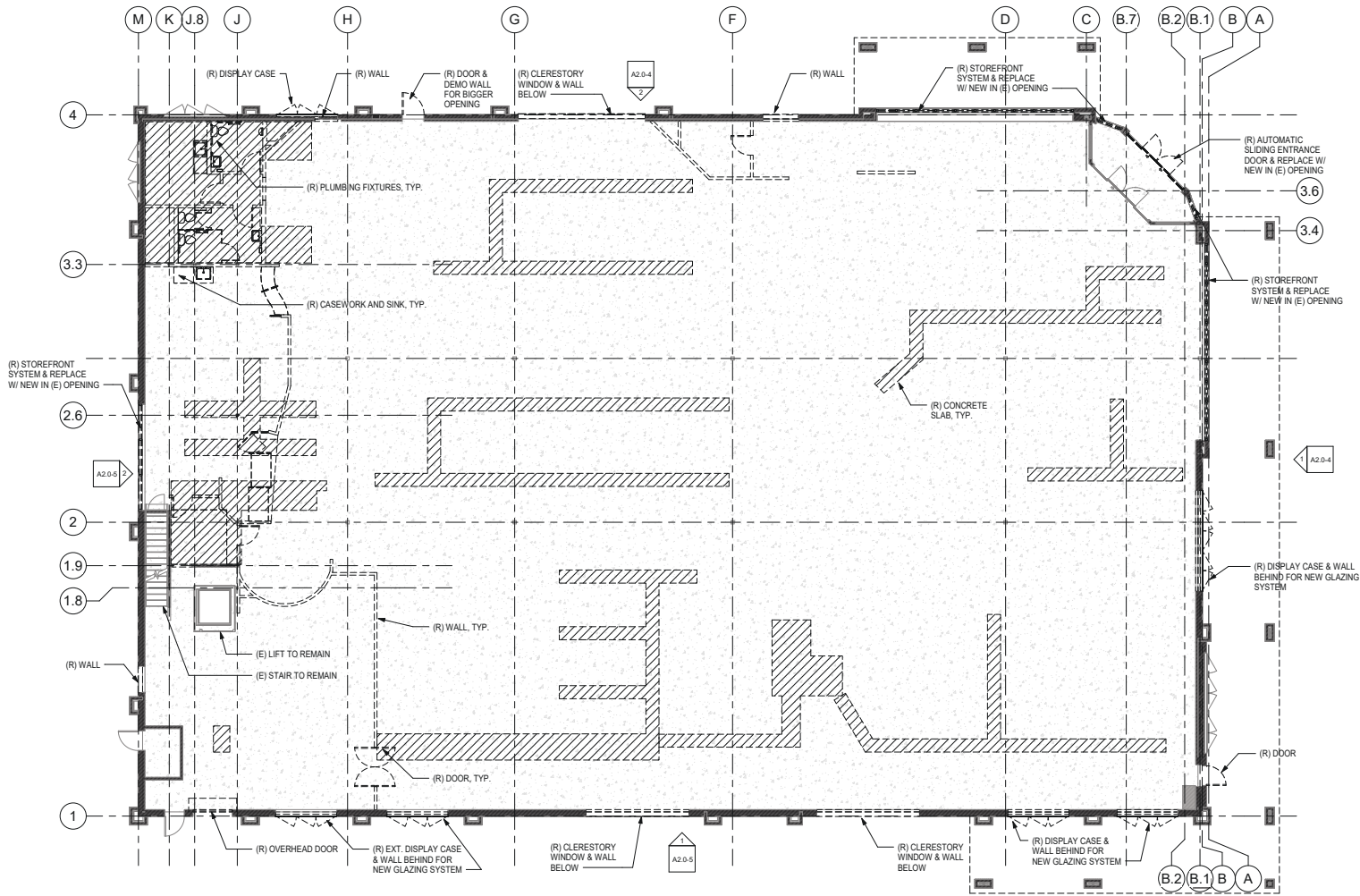


**SHEET NOTES**

1. SEE A0.3-0 FOR GENERAL DEMOLITION NOTES
2. SEE A2.0-4 & A2.0-5 FOR DEMO ELEVATIONS
3. PATCH & REPAIR FLOOR AFTER REMOVAL OF WALLS
4. PATCH & REPAIR WALLS TO REMAIN
5. SEE M.E.P. DRAWINGS FOR UNDERGROUND UTILITIES FOR TRENCHING

**WALL TYPE LEGEND**

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE DEMOLISHED



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ELK GROVE



**ELK GROVE  
LIBRARY RETROFIT**

**9260 ELK GROVE BLVD  
ELK GROVE  
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SHEET TITLE AND NO.  
DEMOLITION FIRST  
FLOOR PLAN



A2.0-1

① (D) FP01- FIRST FLOOR PLAN- DEMOLITION  
1/8" = 1'-0"

24"x36"



**GROUP 4**  
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SHEET TITLE AND NO.  
 DEMOLITION  
 MEZZANINE FLOOR  
 PLAN

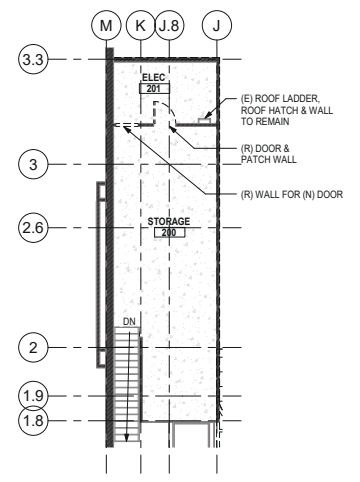
**A2.0-2**

**SHEET NOTES**

1. SEE A0.3-0 FOR GENERAL DEMOLITION NOTES
2. SEE A2.0-4 & A2.0-5 FOR DEMO ELEVATIONS
3. PATCH & REPAIR FLOOR AFTER REMOVAL OF WALLS
4. PATCH & REPAIR WALLS TO REMAIN
5. SEE M.E.P. DRAWINGS FOR UNDERGROUND UTILITIES FOR TRENCHING

**WALL TYPE LEGEND**

- EXISTING WALL, TO REMAIN
- - - EXISTING WALL, TO BE DEMOLISHED



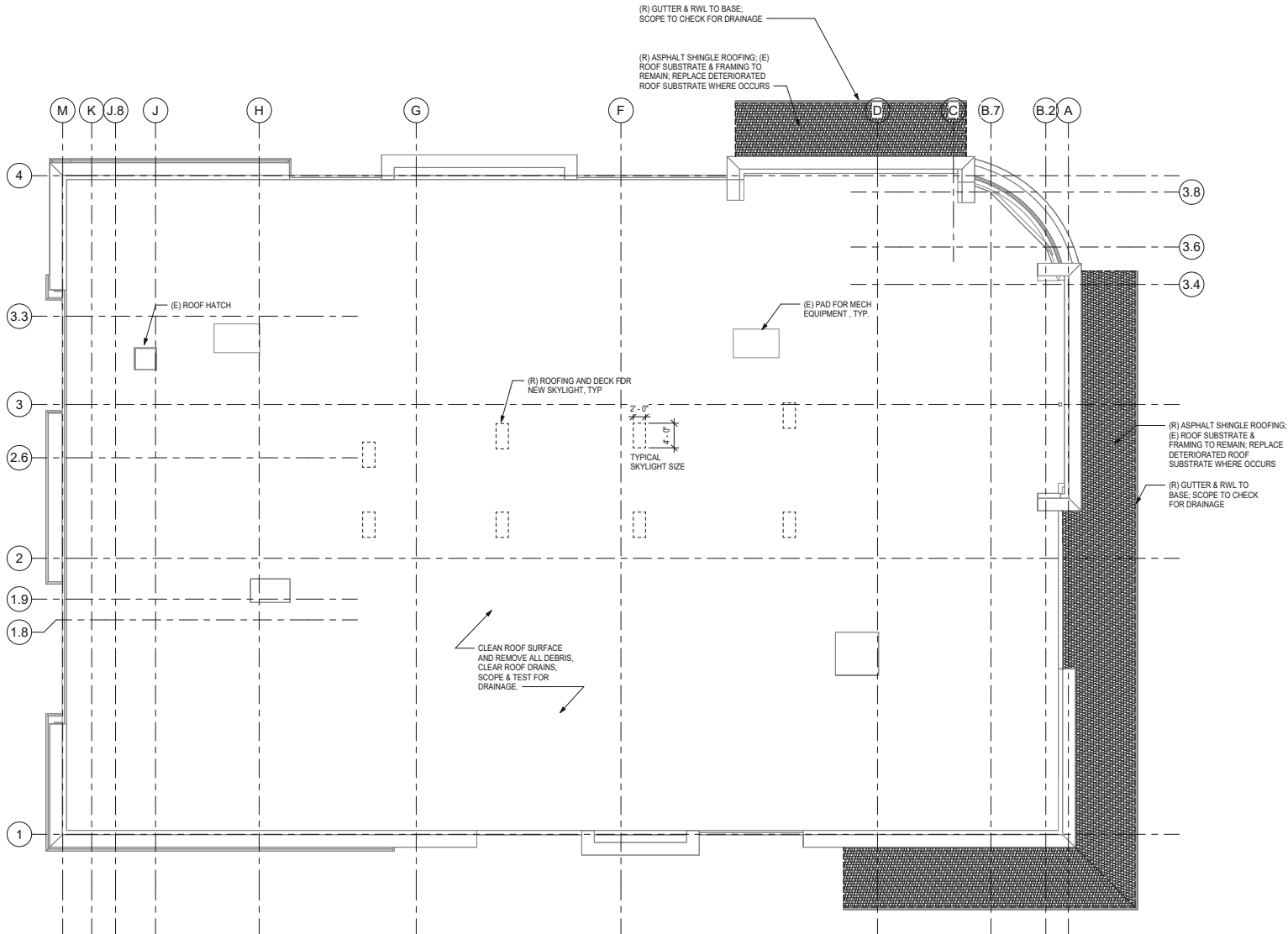
① (D) FP02 - MEZZANINE FLOOR PLAN - DEMOLITION  
 1/8" = 1'-0"



24"x36"

**SHEET NOTES**

1. SEE A0.3-0 FOR GENERAL DEMOLITION NOTES
2. PATCH & REPAIR ROOFING AFTER REMOVAL OF ROOF TO INSTALL NEW WORK
3. PROTECT EXISTING ROOF TOP EQUIPMENT.



① (D) - ROOF PLAN - DEMOLITION  
1/8" = 1'-0"



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CA 94080 USA  
650-871-0709



City of  
**ELK GROVE**  
**sac**  
**idb**

**ELK GROVE  
LIBRARY RETROFIT**

**9260 ELK GROVE BLVD  
ELK GROVE  
CA 95624**

Project Arch. ---  
CA REG. ---  
PROJECT: 22583-02

ISSUE DATE  
SD SUBMITTAL 03/03/2022  
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SHEET TITLE AND NO.  
DEMOLITION ROOF  
PLAN



**A2.0-3**

24"x36"





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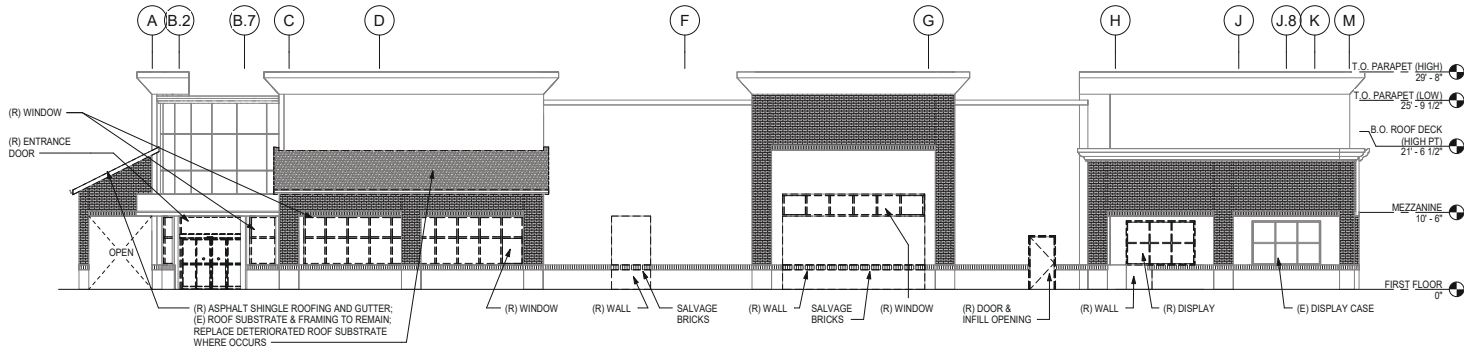
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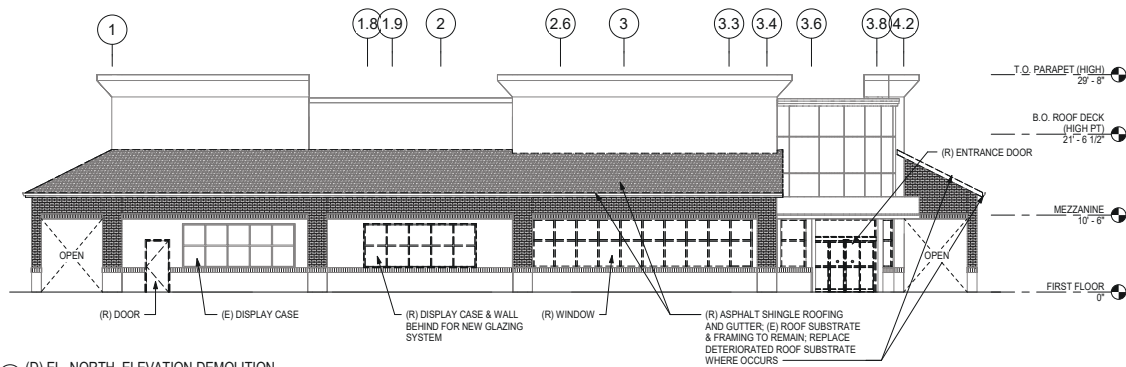
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SHEET TITLE AND NO.  
DEMOLITION  
ELEVATIONS

A2.0-4



2 (D) EL-WEST ELEVATION DEMOLITION  
1/8" = 1'-0"



1 (D) EL-NORTH ELEVATION DEMOLITION  
1/8" = 1'-0"

24"x36"



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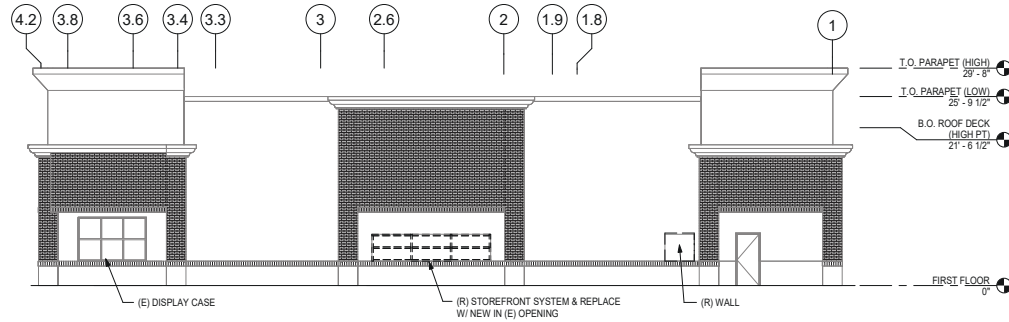
Project Arch. ---  
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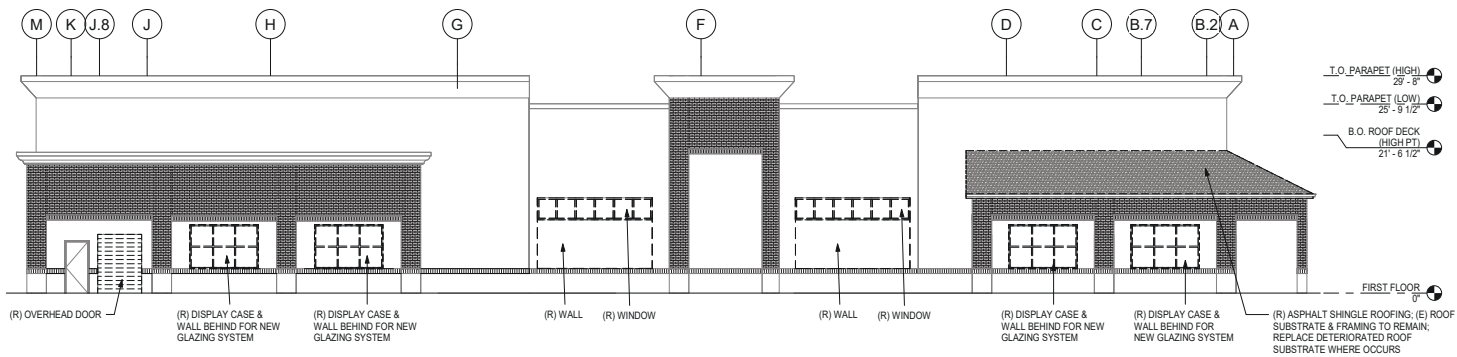
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SHEET TITLE AND NO.  
DEMOLITION  
ELEVATIONS

A2.0-5



2 EL - SOUTH ELEVATION DEMOLITION  
1/8" = 1'-0"

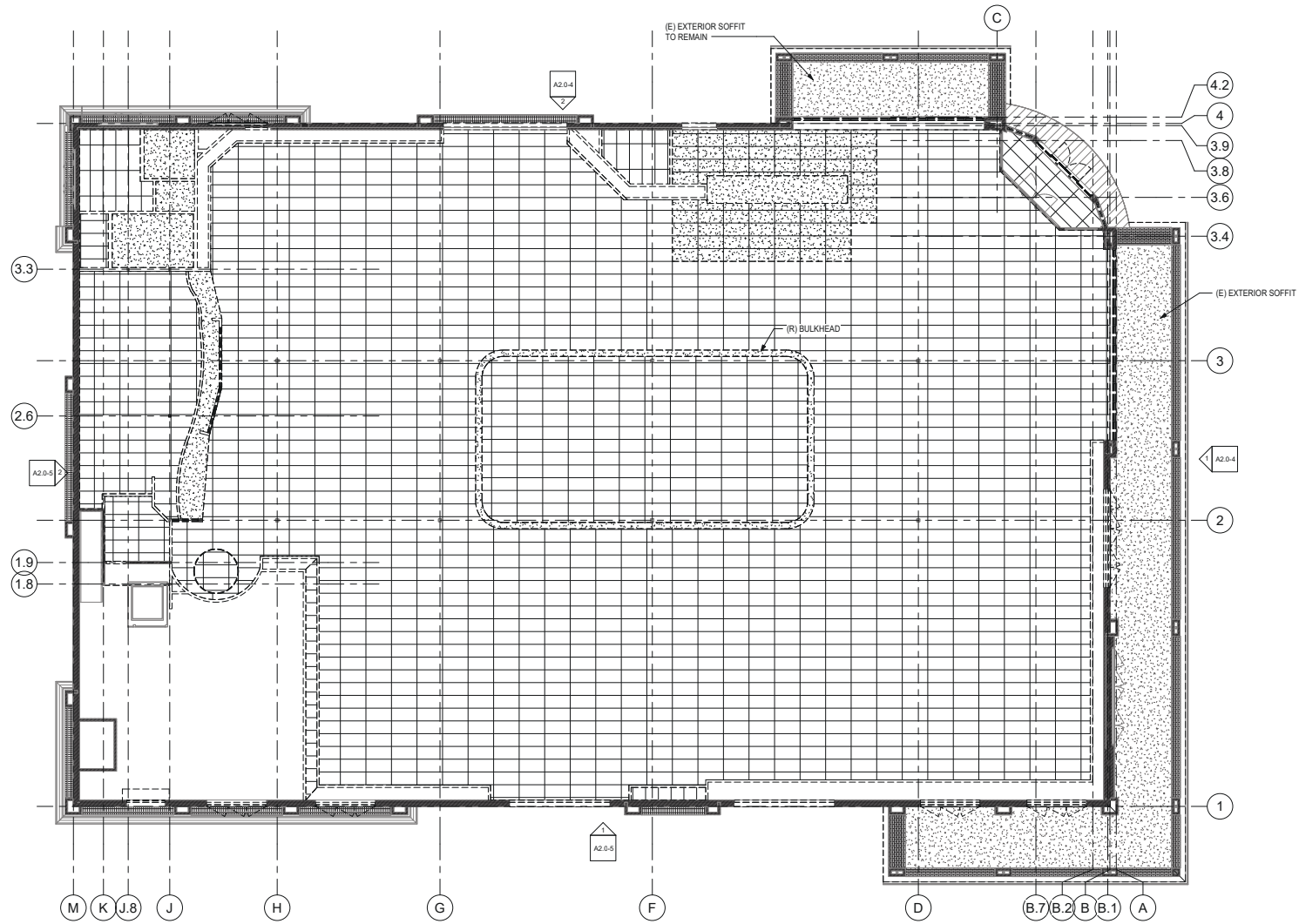


1 EL - EAST ELEVATION DEMOLITION  
1/8" = 1'-0"

24"x36"

**SHEET NOTES**

1. SEE A0.3-0 FOR GENERAL DEMOLITION NOTES
2. DEMOLISH ALL CEILINGS AND SOFFITS, U.O.N.



1 (D)RCP01-REFLECTED CEILING PLAN- FIRST FLOOR  
1/8" = 1'-0"



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**ELK GROVE**  
**LIBRARY RETROFIT**  
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SHEET TITLE AND NO.  
DEMOLITION  
REFLECTED  
CEILING PLAN-  
FIRST FLOOR



**A2.0-6**

24"x36"



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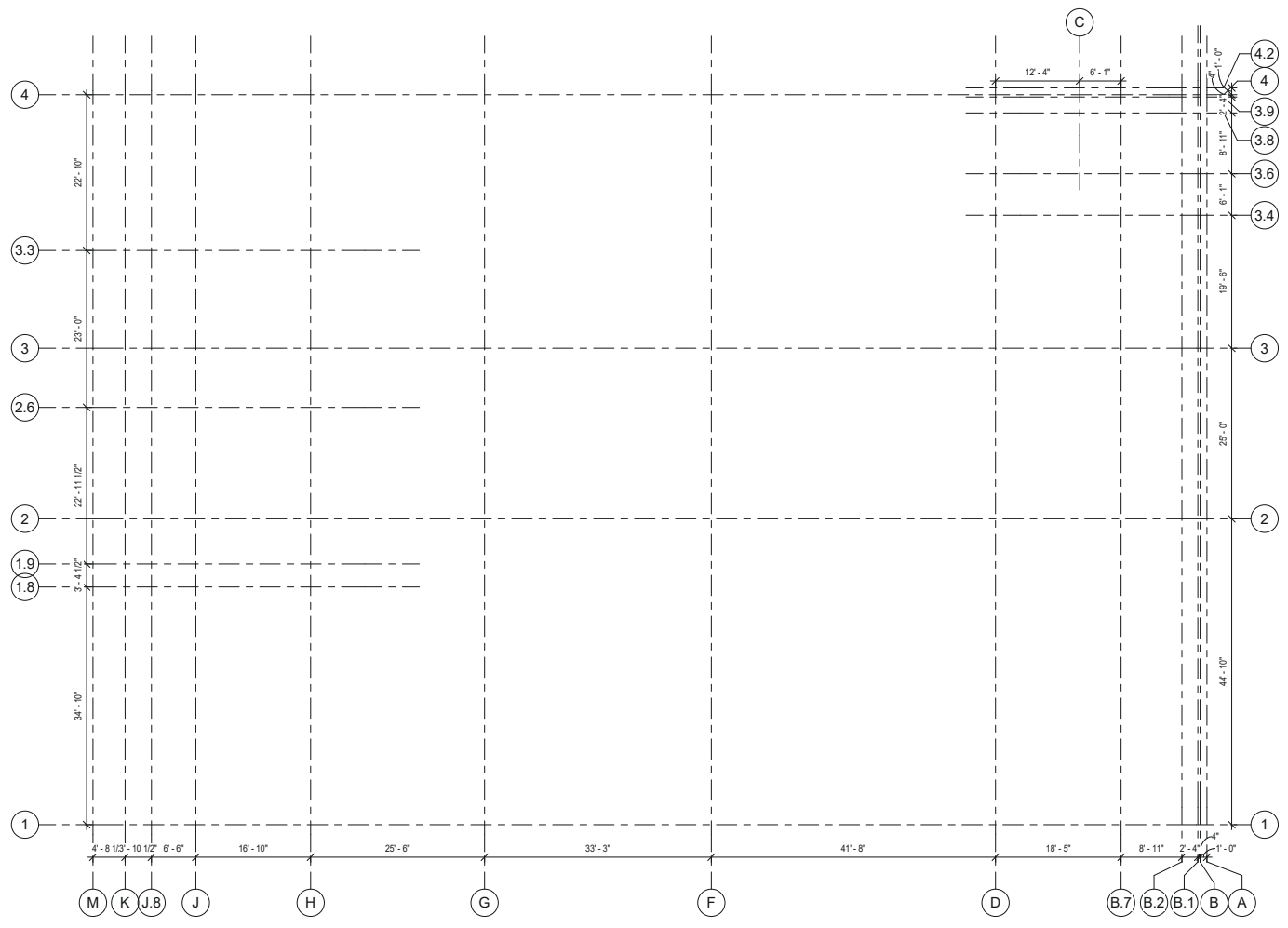
Project Arch.	—
CA REG.	—
PROJECT:	22583-02
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SHEET TITLE AND NO.  
 GRID PLAN



**A2.1-1**



① GP-GRID PLAN  
 1/8" = 1'-0"

24"x36"



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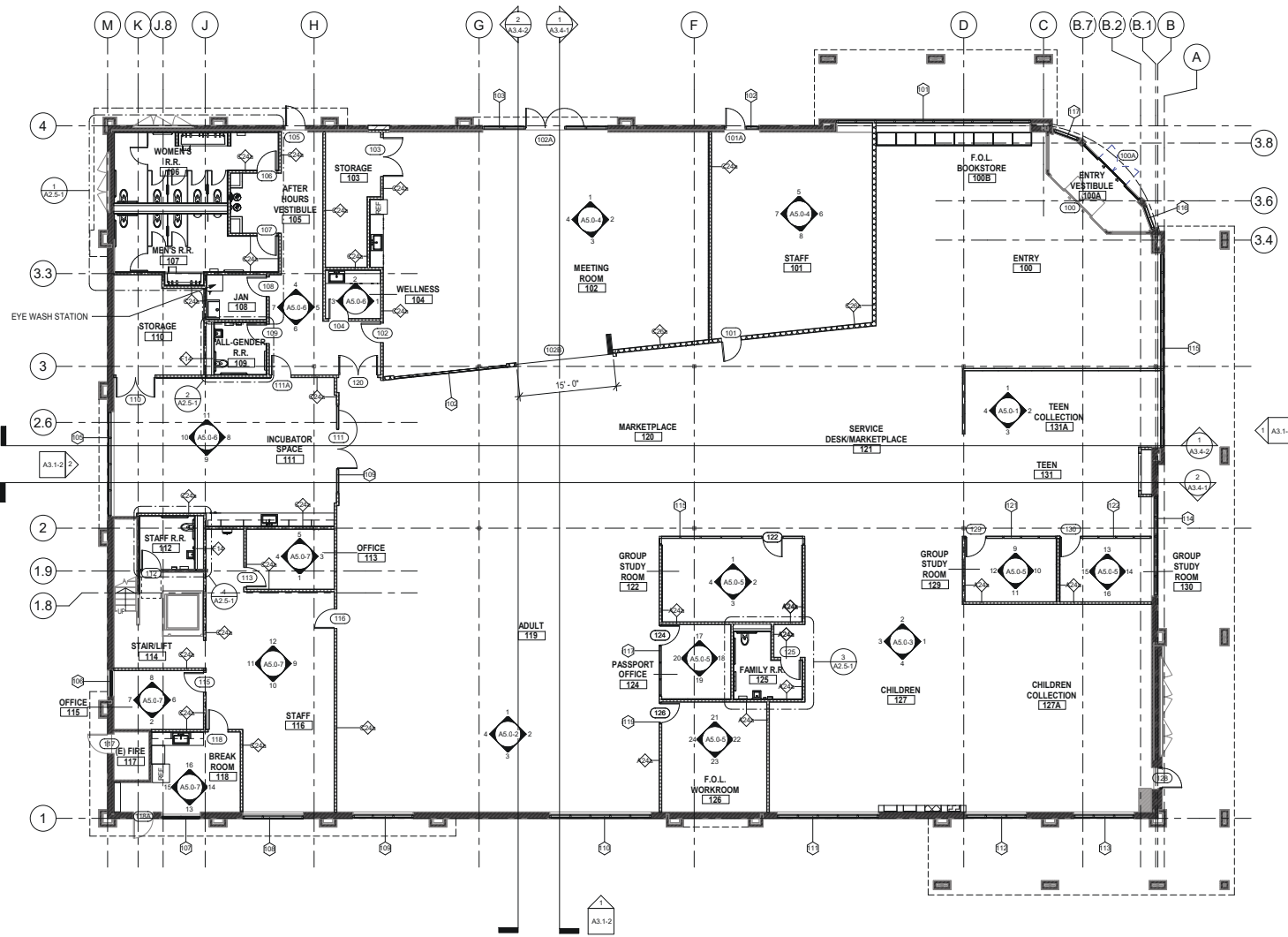
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Project Arch. \_\_\_\_\_  
 CA REG. \_\_\_\_\_  
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SHEET TITLE AND NO.  
 FIRST FLOOR PLAN

A2.4-1



1 EP01- FIRST FLOOR PLAN  
 1/8" = 1'-0"



24"x36"





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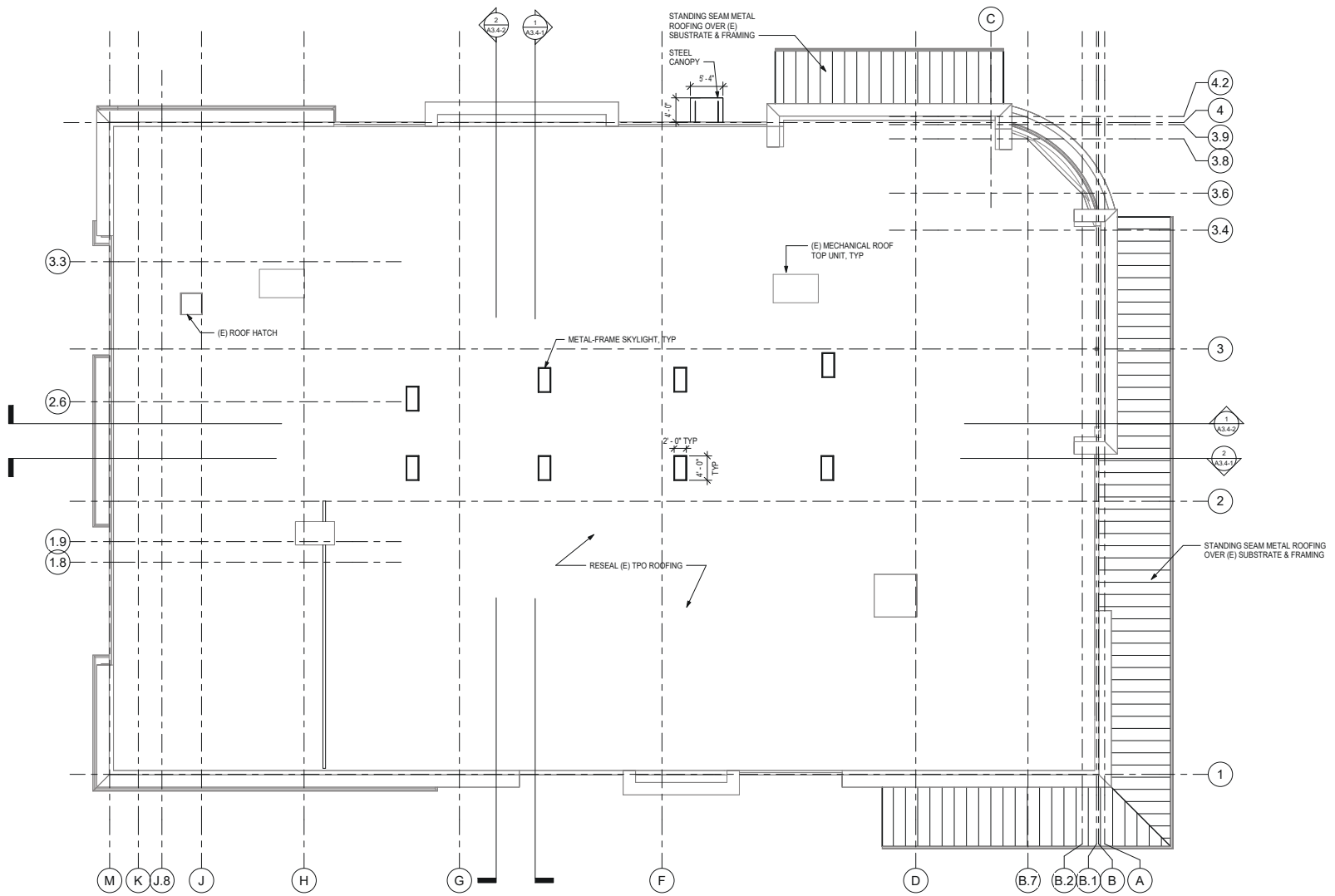
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Project Arch.	—
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SHEET TITLE AND NO.  
 ROOF PLAN

A2.4-3



1 RP01-ROOF PLAN  
 1/8" = 1'-0"

24"x36"



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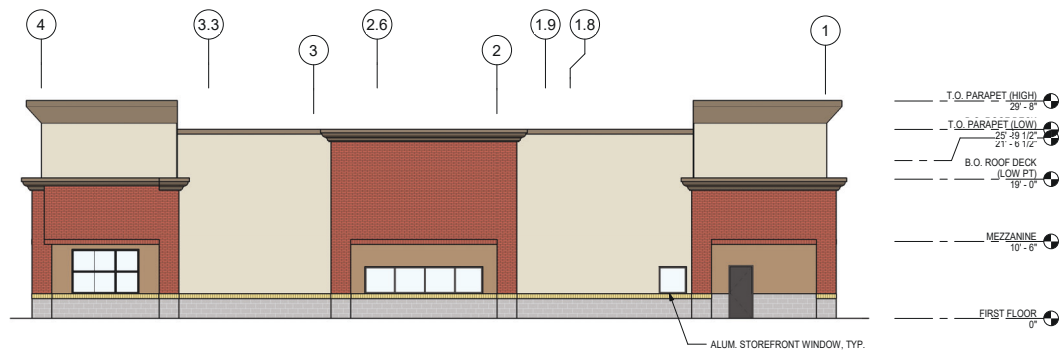
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SHEET TITLE AND NO.  
 BUILDING ELEVATIONS PRESENTATION

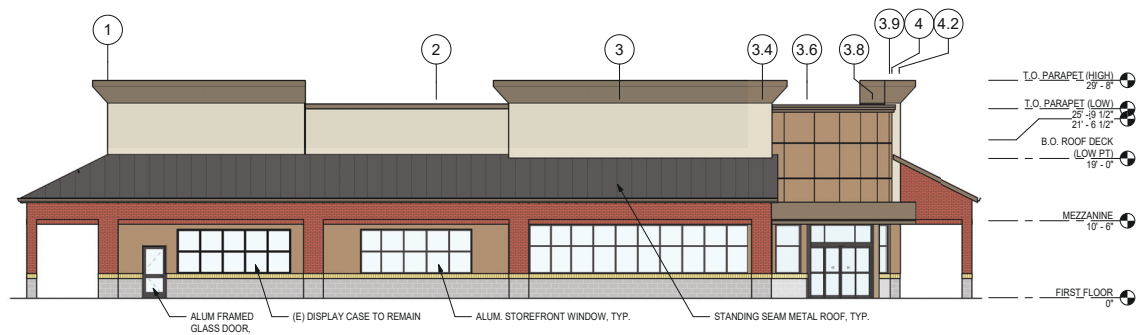
**A3.1-3**



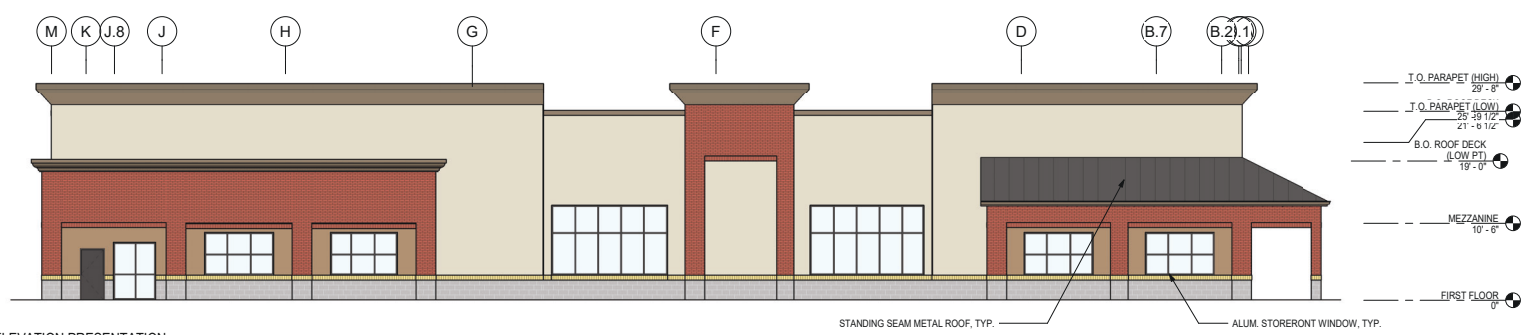
3 EL-SOUTH ELEVATION PRESENTATION  
 1/8" = 1'-0"

**EXTERIOR WALL FINISH LEGEND**

- P1 DUNN-EDWARDS #DET641
- P2 DUNN-EDWARDS #DEC718
- P3 DUNN-EDWARDS #DET695
- EXISTING BRICK
- EXISTING CMU
- EXISTING TILE



2 EL-NORTH ELEVATION PRESENTATION  
 1/8" = 1'-0"



1 EL-EAST ELEVATION PRESENTATION  
 1/8" = 1'-0"

24"x36"





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**ELK GROVE  
 LIBRARY RETROFIT**  
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 ELK GROVE  
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Project Arch.	—
CA REG.	—
PROJECT:	22583-02
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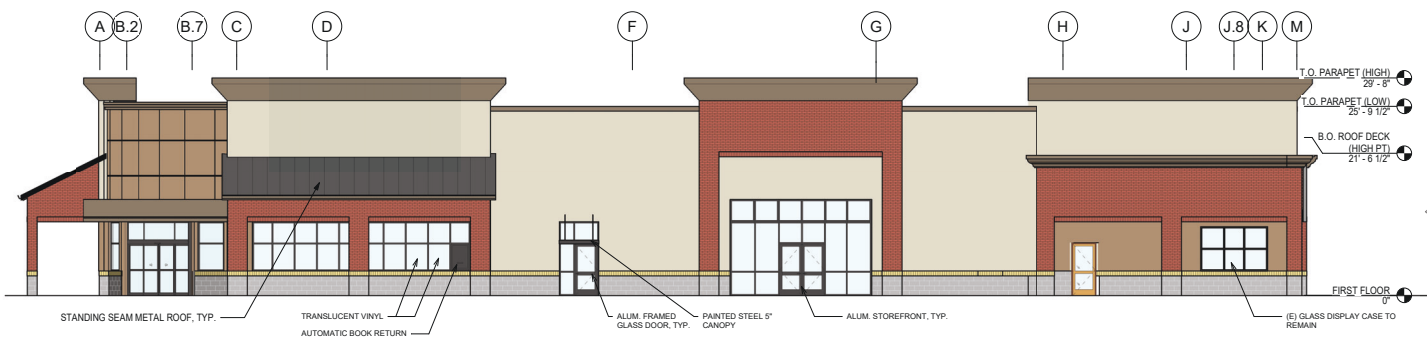
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SHEET TITLE AND NO.  
 BUILDING  
 ELEVATIONS  
 PRESENTATION

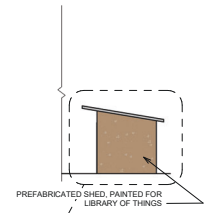
**A3.1-4**

**EXTERIOR WALL FINISH LEGEND**

- P1 DUNN-EDWARDS #DET641
- P2 DUNN-EDWARDS #DEC718
- P3 DUNN-EDWARDS #DET695
- EXISTING BRICK
- EXISTING CMU
- EXISTING TILE



① EL -WEST ELEVATION PRESENTATION OPTION 1  
 1/8" = 1'-0"



12X8' TUFF SHED WITH DOUBLE DOORS  
 (FOR REFERENCE ONLY)

24"x36"



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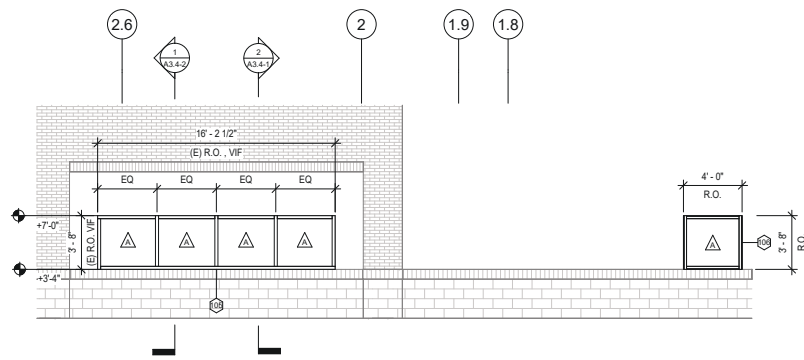
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Project Arch.	---
CA REG.	---
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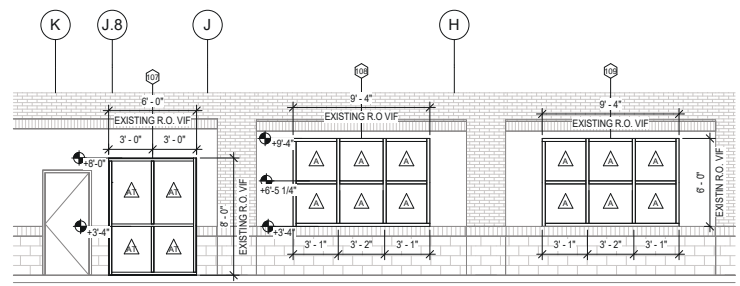
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SHEET TITLE AND NO.  
 ENLARGED  
 WINDOW  
 ELEVATIONS  
 (EXTERIOR)

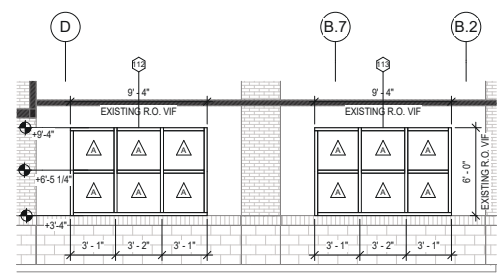
**A3.2-1**



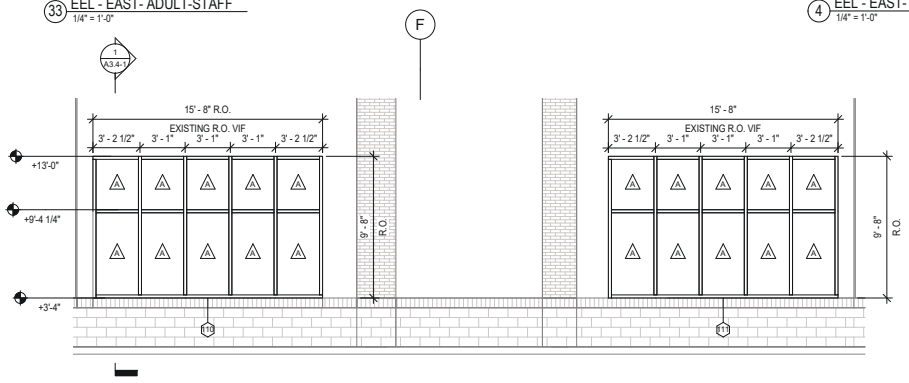
3 EEL - SOUTH - STAFF B  
 1/4" = 1'-0"



33 EEL - EAST - ADULT-STAFF  
 1/4" = 1'-0"



4 EEL - EAST - CHILDREN  
 1/4" = 1'-0"



2 EEL - EAST - CHILDREN-FOL-ADULT  
 1/4" = 1'-0"

**WINDOW LEGEND**

- WINDOW/LOUVER NUMBER
- GLAZING TYPE
- △ 1" INSULATED GLAZING UNIT WITH LOW-E COATING
  - △/△ 1" TEMPERED INSULATED GLAZING UNIT WITH LOW-E COATING
  - △ 1/4" FLOAT GLASS
  - △/△ 1/4" LAMINATED FLOAT GLASS
- SHADE TYPE
- MS MOTORIZED SHADE
  - S MANUALLY OPERATED SHADE
  - NS NO SHADE

- FRAME MATERIAL
- ALUM ALUMINUM TYP. FOR ALL
- FRAME TYPE
- A STOREFRONT 2" X 4 1/2" MULLION W/ FRONT GLAZING
  - B INTERIOR WINDOW SYSTEM 2" X 5-1/4" MULLION

**WINDOW SCHEDULE - A3.2-1**

WIN #	GLAZING TYPE	FRAME TYPE	SHADE TYPE
105	AT	A	S
106	AT	A	S
107	AT	A	S
108	AT/A	A	S
109	AT/A	A	MS
110	AT/A	A	MS
111	AT/A	A	MS
112	AT/A	A	MS
113	AT/A	A	MS

24"x36"



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**ELK GROVE  
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 ELK GROVE  
 CA 95624

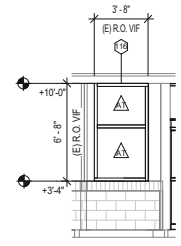
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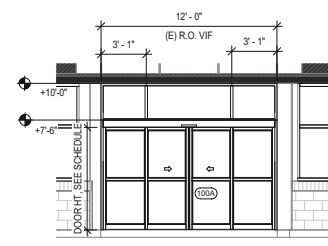
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SHEET TITLE AND NO.  
 ENLARGED  
 WINDOW  
 ELEVATIONS  
 (EXTERIOR)

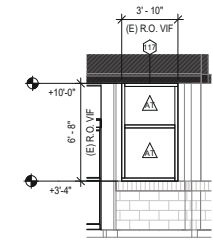
**A3.2-2**



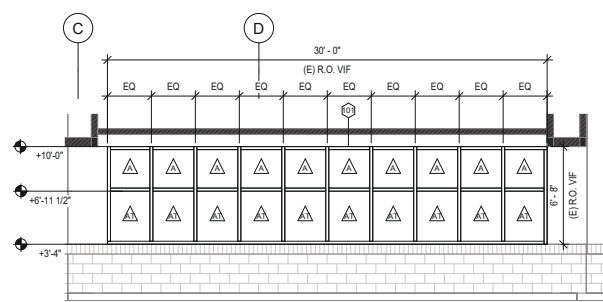
5 EEL - NW - ENTRY STOREFRONT  
 1/4" = 1'-0"



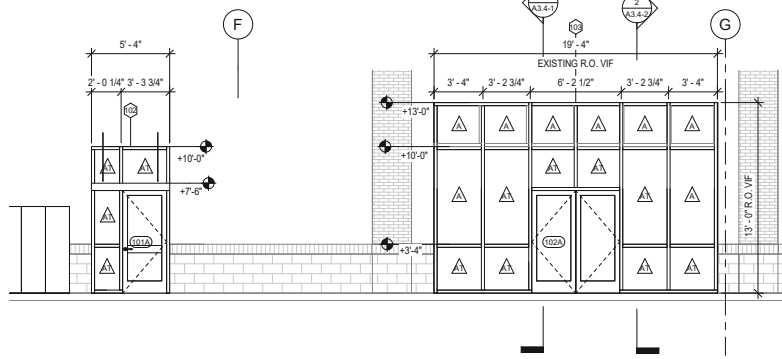
7 EEL - NW - ENTRANCE TRANSOM  
 1/4" = 1'-0"



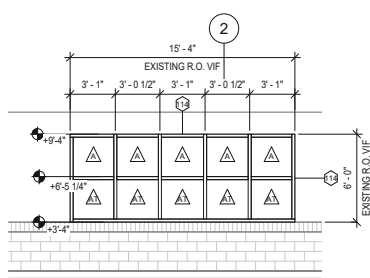
6 EEL - NW - ENTRY STOREFRONT  
 1/4" = 1'-0"



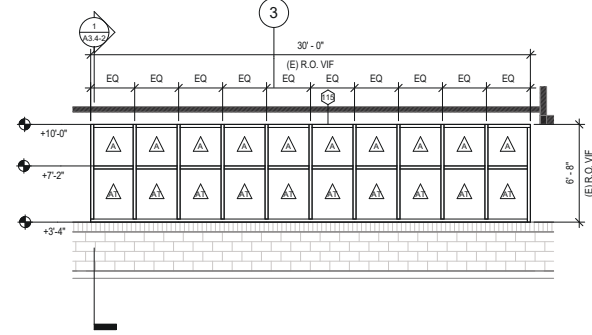
4 EEL - WEST - F.O.L. BOOKSTORE  
 1/4" = 1'-0"



3 EEL - WEST - MEETING ROOM  
 1/4" = 1'-0"



2 EEL - NORTH - CHILDREN  
 1/4" = 1'-0"



1 EEL - NORTH - TEEN COLLECTION  
 1/4" = 1'-0"

**WINDOW LEGEND**

WINDOW/LOUVER NUMBER

**GLAZING TYPE**

- △ 1" INSULATED GLAZING UNIT WITH LOW-E COATING
- △ 1" TEMPERED INSULATED GLAZING UNIT WITH LOW-E COATING
- △ 1/4" FLOAT GLASS
- △ 1/4" LAMINATED FLOAT GLASS

**SHADE TYPE**

- MS MOTORIZED SHADE
- S MANUALLY OPERATED SHADE
- NS NO SHADE

**FRAME MATERIAL**

- ALUM ALUMINUM TYP. FOR ALL

**FRAME TYPE**

- A STOREFRONT 2" X 4 1/2" MULLION W/ FRONT GLAZING
- B INTERIOR WINDOW SYSTEM 2"X5-1/4" MULLION

**WINDOW SCHEDULE - A3.2-2**

WIN #	GLAZING TYPE	FRAME TYPE	SHADE TYPE
101	AT1A	A	MS
102	AT	A	N
103	AT1A	A	MS
114	AT1A	A	MS
115	AT1A	A	MS
116	AT1A	A	N
117	AT1A	A	N

24"x36"



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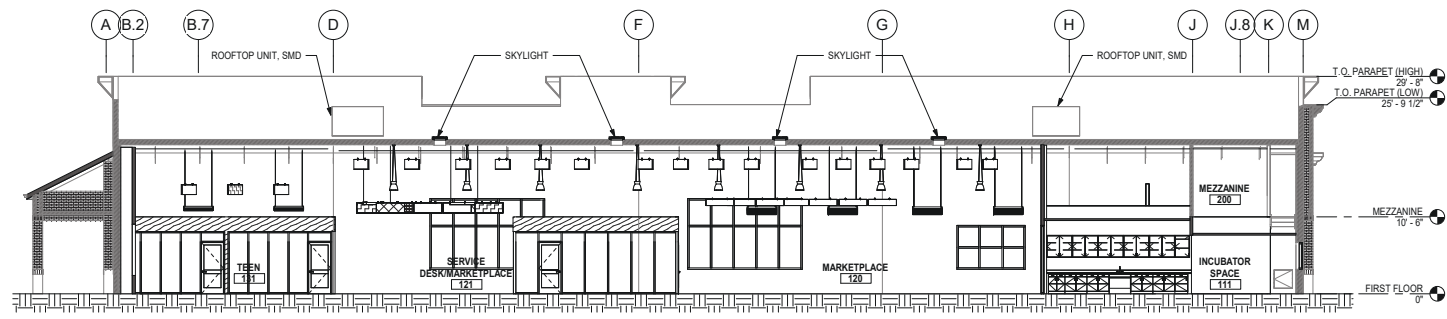
**ELK GROVE  
 LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

Project Arch.	—
CA REG.	—
PROJECT:	22583-02
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ENTITLEMENT PACKAGE	09/01/2023

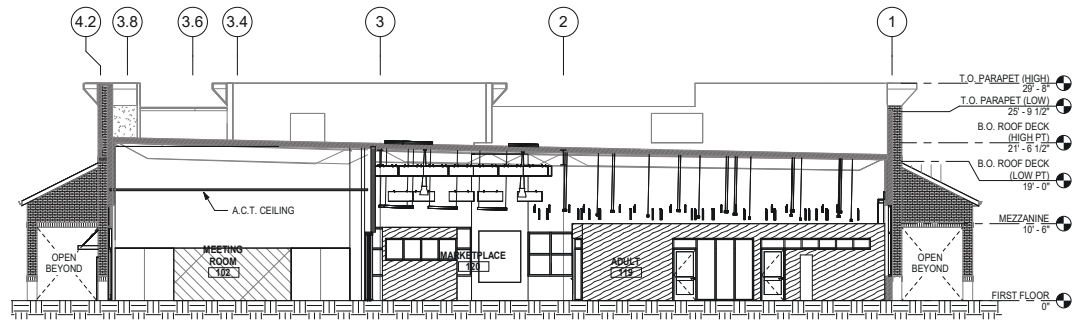
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SHEET TITLE AND NO.  
 BUILDING  
 SECTIONS

**A3.4-1**



② BS-BUILDING SECTION @ GRID 2  
 1/8" = 1'-0"



① BS-BUILDING SECTION @ GRID F  
 1/8" = 1'-0"

24"x36"



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SHEET TITLE AND NO.  
 FINISH FLOOR  
 PLAN

A4.1-1



**FLOOR FINISH LEGEND**

- CPT-1: CARPET TILE
- C-2: WALK-OFF CARPET TILE
- RF-1: RESILIENT FLOORING
- T-1: CERAMIC/PORCELAIN TILE
- CO-1: SEALED CONCRETE

**WALL FINISH LEGEND**

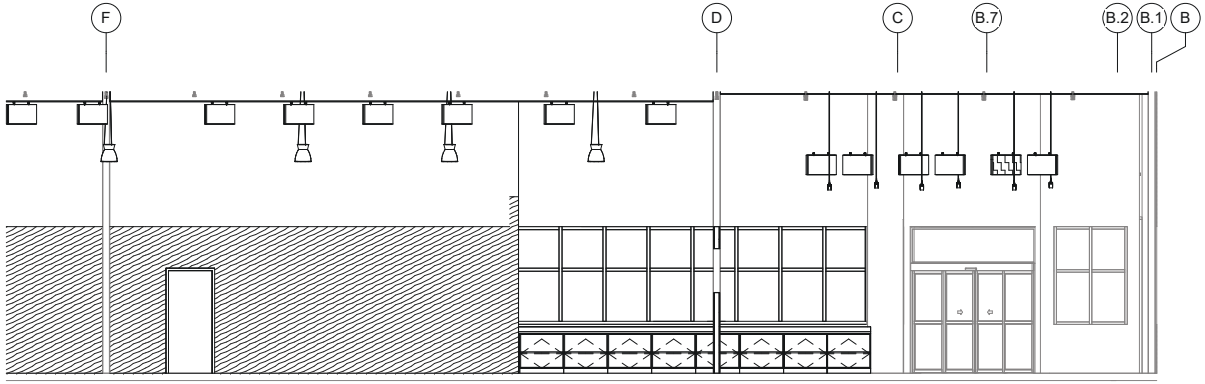
- P-1: PAINT
- PT-1: PORCELAIN TILE

**WALL BASE LEGEND**

- R-1: 4" RUBBER BASE
- T-1: PORCELAIN TILE BASE




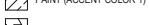
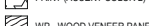


1 NP01-FINISH FLOOR PLAN-FIRST FLOOR  
 1/8" = 1'-0"

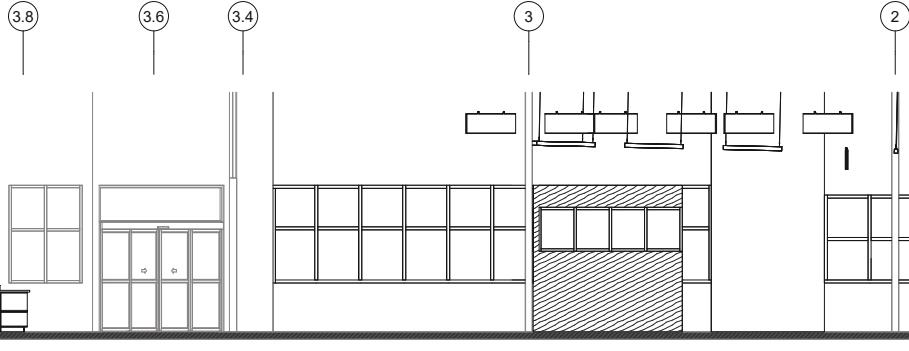
24"x36"



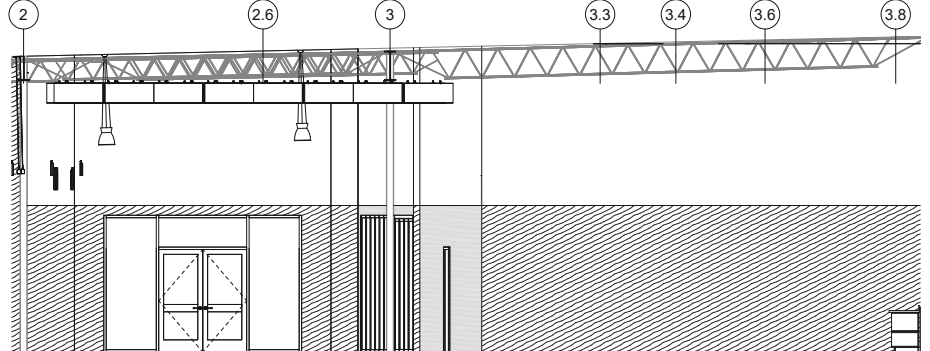
1 IE - ENTRY/MARKETPLACE 100 WEST  
1/4" = 1'-0"

**INTERIOR WALL FINISH LEGEND**

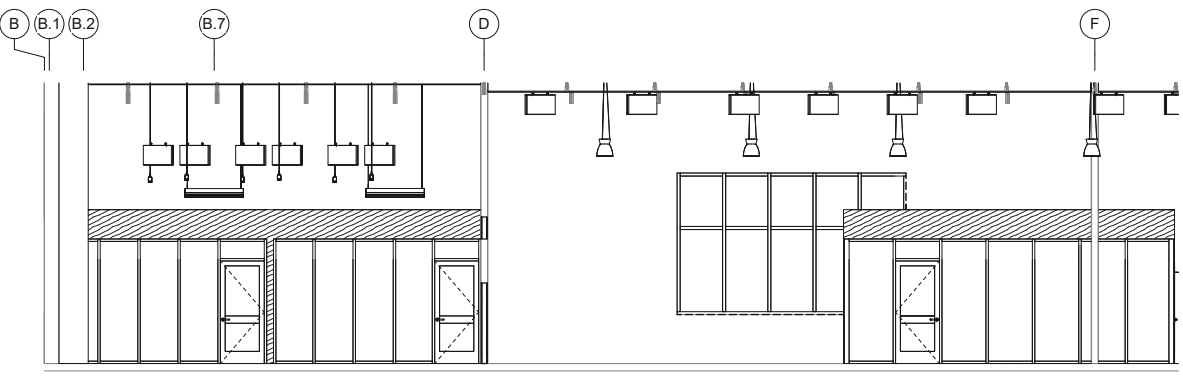
-  AWP 1
-  AWP 2
-  PAINT
-  PAINT (ACCENT COLOR 1)
-  PAINT (ACCENT COLOR 2)
-  WP - WOOD VENEER PANEL
-  MAGNETIC MARKER BOARD



2 IE - ENTRY/MARKETPLACE 100 NORTH  
1/4" = 1'-0"



4 IE - ENTRY/MARKETPLACE 100 SOUTH  
1/4" = 1'-0"



3 IE - ENTRY/MARKETPLACE 100 EAST  
1/4" = 1'-0"

**KEYNOTE**

NO. KEYNOTE TEXT



**GROUP 4**  
ARCHITECTURE  
RESEARCH +  
PLANNING, INC  
211 LINDEN AVENUE  
SO. SAN FRANCISCO  
CA 94080 USA  
650.871.0709



**ELK GROVE**  
**sac**  
**idb**

**ELK GROVE**  
**LIBRARY RETROFIT**  
9260 ELK GROVE BLVD  
ELK GROVE  
CA 95624

Project Arch.	—
CA REG.	—
PROJECT:	22583-02
ISSUE	DATE
SD SUBMITTAL	03/03/2022
ENTITLEMENT PACKAGE	09/01/2023

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USE ONLY. NOT FOR  
CONSTRUCTION.**

SHEET TITLE AND NO.  
**INTERIOR  
ELEVATIONS**

**A5.0-1**

24"x36"



**GROUP 4**  
 ARCHITECTURE  
 RESEARCH +  
 PLANNING, INC  
 211 LINDEN AVENUE  
 SO. SAN FRANCISCO  
 CA 94080 USA  
 650.871.0709

**City of ELK GROVE**  
**sac**  
**idb**  
**ELK GROVE**  
**LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

Project Arch.	—
CA REG.	—
PROJECT:	22563-02
ISSUE	DATE
SD SUBMITTAL	03/03/2022
ENTITLEMENT PACKAGE	09/01/2023

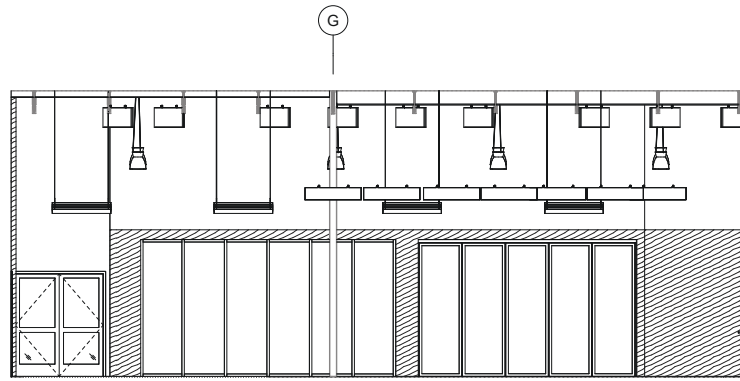
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SHEET TITLE AND NO.  
 INTERIOR  
 ELEVATIONS

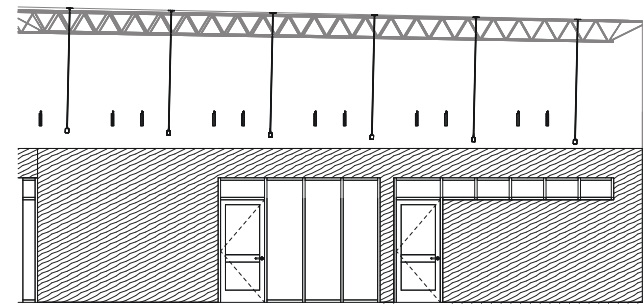
**A5.0-2**

**INTERIOR WALL FINISH LEGEND**

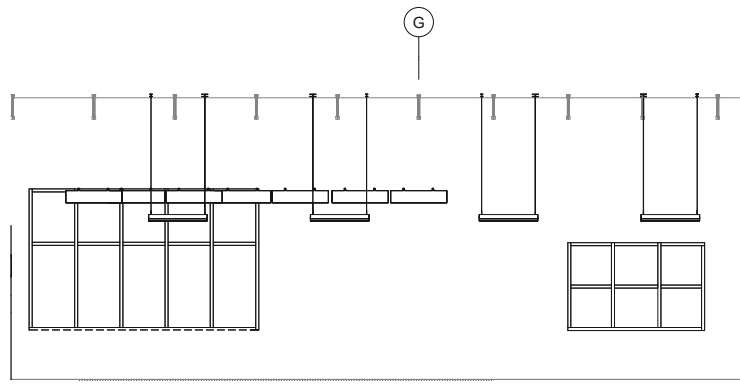
- AWP 1
- AWP 2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD



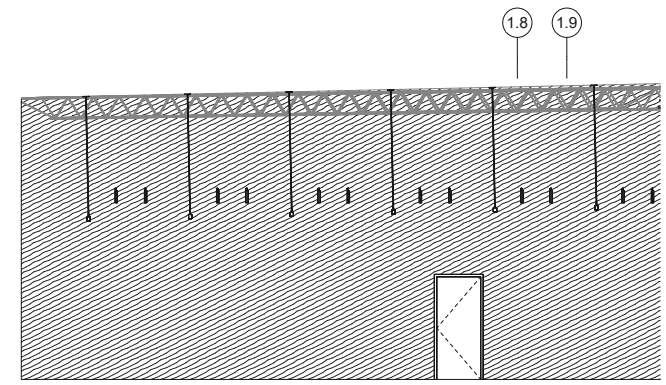
① IE - ADULT 119 WEST  
 1/4" = 1'-0"



② IE - ADULT 119 NORTH  
 1/4" = 1'-0"



③ IE - ADULT 119 EAST  
 1/4" = 1'-0"



④ IE - ADULT 119 SOUTH  
 1/4" = 1'-0"

24"x36"



**GROUP 4**  
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 PLANNING, INC  
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**CITY OF ELK GROVE**  
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Project Arch. —  
 CA REG. —  
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 ISSUE DATE  
 SD SUBMITTAL 03/03/2022  
 ENTITLEMENT PACKAGE 09/01/2023

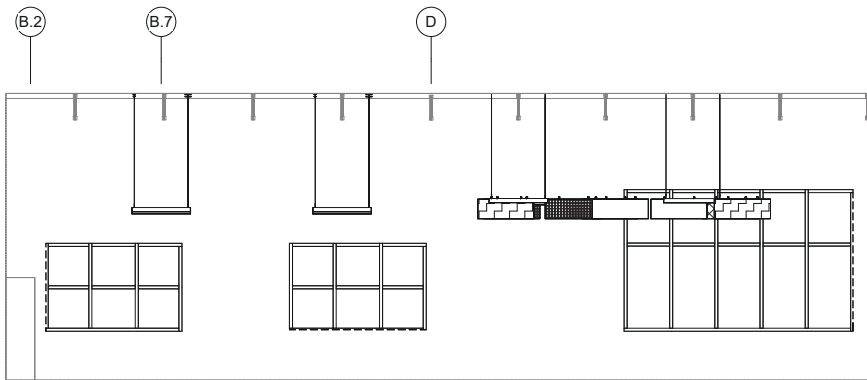
**DRAFT FOR INTERNAL  
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SHEET TITLE AND NO.  
 INTERIOR  
 ELEVATIONS

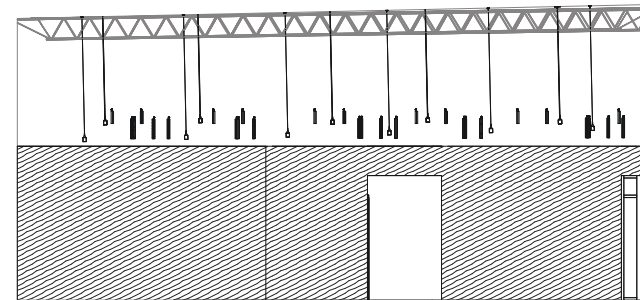
**A5.0-3**

**INTERIOR WALL FINISH LEGEND**

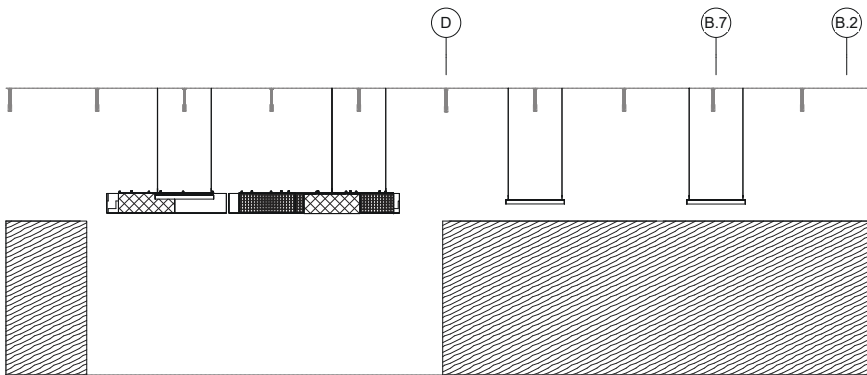
-  AWP 1
-  AWP 2
-  PAINT
-  PAINT (ACCENT COLOR 1)
-  PAINT (ACCENT COLOR 2)
-  WP - WOOD VENEER PANEL
-  MAGNETIC MARKER BOARD



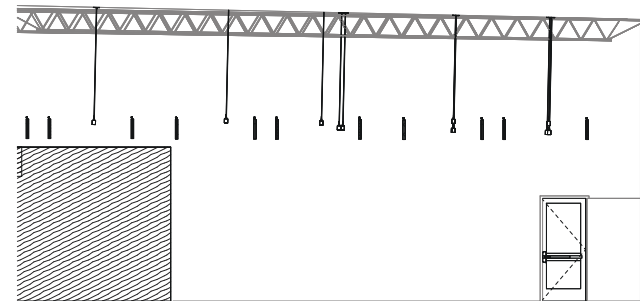
4 IE - CHILDREN 127 EAST  
 1/4" = 1'-0"



3 IE - CHILDREN 127 SOUTH  
 1/4" = 1'-0"



2 IE - CHILDREN 127 WEST  
 1/4" = 1'-0"



1 IE - CHILDREN 127 NORTH  
 1/4" = 1'-0"

24"x36"





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**ELK GROVE  
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Project Arch.	—
CA REG.	—
PROJECT:	22583-02
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ENTITLEMENT PACKAGE	09/01/2023

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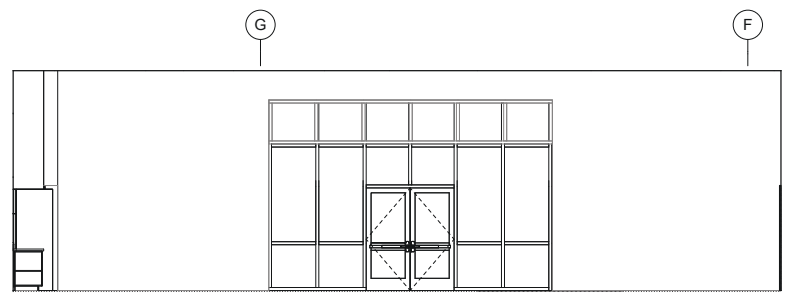
SHEET TITLE AND NO.  
 INTERIOR  
 ELEVATIONS

**A5.0-4**

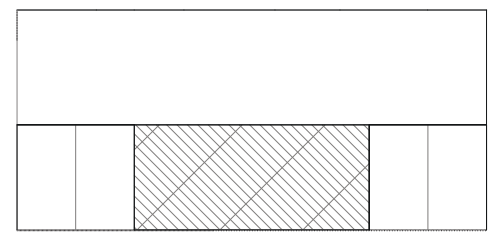
**INTERIOR WALL FINISH LEGEND**

- AWP 1
- AWP 2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD

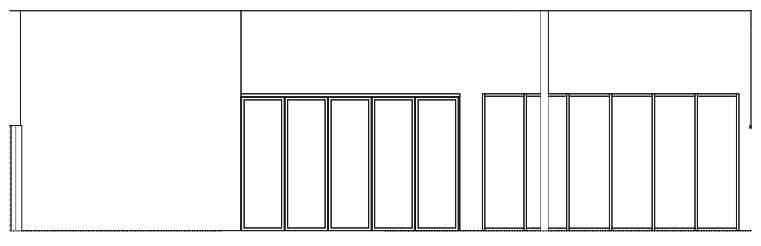
**KEYNOTE**  
 NO. KEYNOTE TEXT



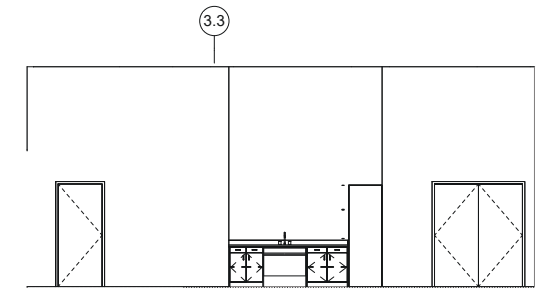
1 IE - MEETING ROOM 102 WEST  
 1/4" = 1'-0"



2 IE - MEETING ROOM 102 NORTH  
 1/4" = 1'-0"



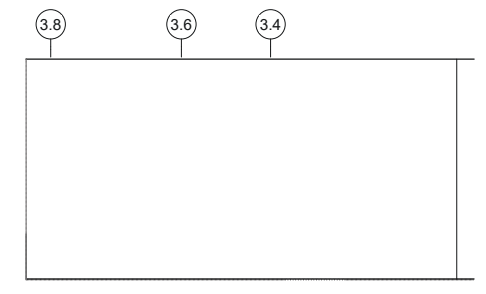
3 IE - MEETING ROOM 102 EAST  
 1/4" = 1'-0"



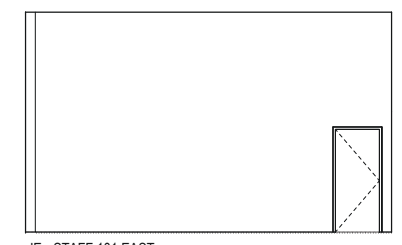
4 IE - MEETING ROOM 102 SOUTH  
 1/4" = 1'-0"



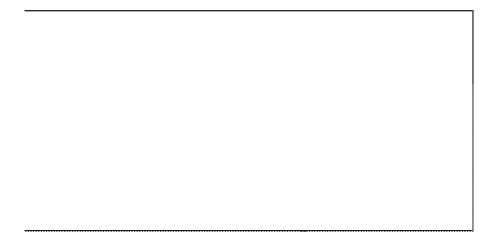
5 IE - STAFF 101 WEST  
 1/4" = 1'-0"



6 IE - STAFF 101 NORTH  
 1/4" = 1'-0"



8 IE - STAFF 101 EAST  
 1/4" = 1'-0"



7 IE - STAFF 101 SOUTH  
 1/4" = 1'-0"

24"x36"



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**ELK GROVE  
 LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

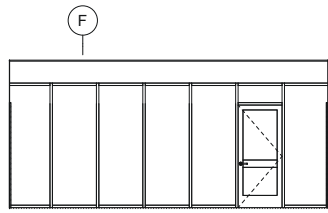
Project Arch. ---  
 CA REG. ---  
 PROJECT: 22583-02

ISSUE DATE  
 SD SUBMITTAL 03/03/2022  
 ENTITLEMENT PACKAGE 09/01/2023

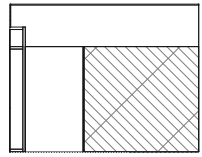
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SHEET TITLE AND NO.  
 INTERIOR  
 ELEVATIONS

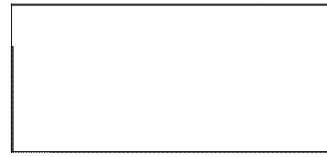
**A5.0-5**



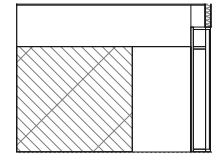
① IE - G.S.R. 122 WEST  
 1/4" = 1'-0"



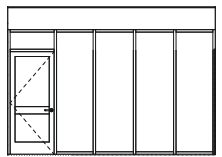
② IE - G.S.R. 122 NORTH  
 1/4" = 1'-0"



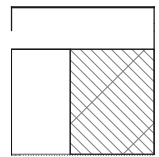
③ IE - G.S.R. 122 EAST  
 1/4" = 1'-0"



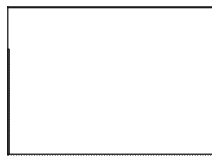
④ IE - G.S.R. 122 SOUTH  
 1/4" = 1'-0"



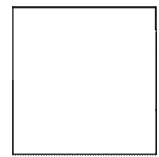
⑨ IE - G.S.R. 129 WEST  
 1/4" = 1'-0"



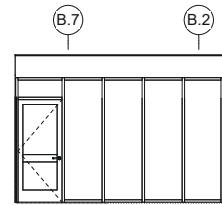
⑩ IE - G.S.R. 129 NORTH  
 1/4" = 1'-0"



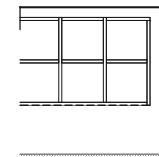
⑪ IE - G.S.R. 129 EAST  
 1/4" = 1'-0"



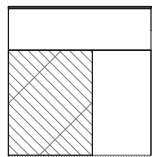
⑫ IE - G.S.R. 129 SOUTH  
 1/4" = 1'-0"



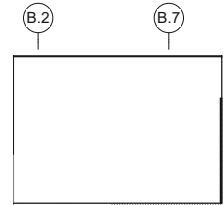
⑬ IE - G.S.R. 130 WEST  
 1/4" = 1'-0"



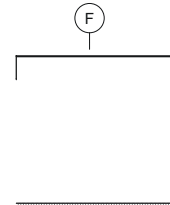
⑭ IE - G.S.R. 130 NORTH  
 1/4" = 1'-0"



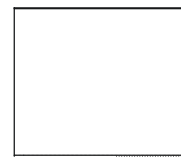
⑮ IE - G.S.R. 130 SOUTH  
 1/4" = 1'-0"



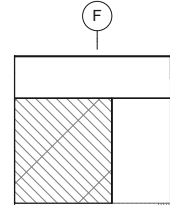
⑯ IE - G.S.R. 130 EAST  
 1/4" = 1'-0"



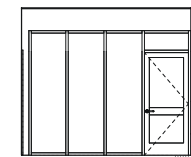
⑰ IE - PASSPORT OFFICE 124 WEST  
 1/4" = 1'-0"



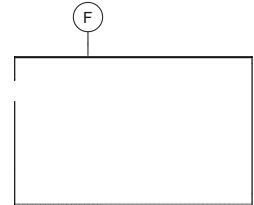
⑱ IE - PASSPORT OFFICE 124 NORTH  
 1/4" = 1'-0"



⑲ IE - PASSPORT OFFICE 124 EAST  
 1/4" = 1'-0"



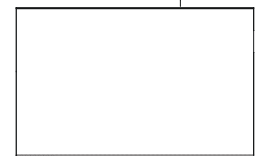
⑳ IE - PASSPORT OFFICE 124 SOUTH  
 1/4" = 1'-0"



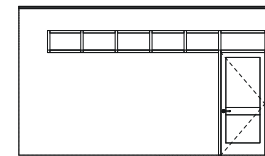
㉑ IE - F.O.L WORKROOM 126 WEST  
 1/4" = 1'-0"



㉒ IE - F.O.L WORKROOM 126 NORTH  
 1/4" = 1'-0"



㉓ IE - F.O.L WORKROOM 126 EAST  
 1/4" = 1'-0"



㉔ IE - F.O.L WORKROOM 126 SOUTH  
 1/4" = 1'-0"

**INTERIOR WALL FINISH LEGEND**

- AWP 1
- AWP 2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD

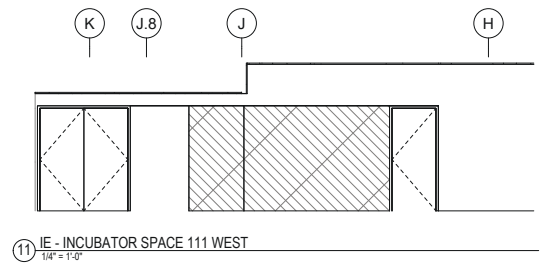
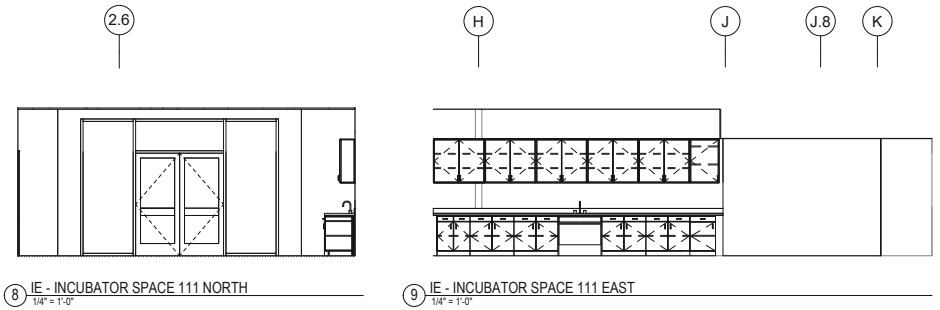
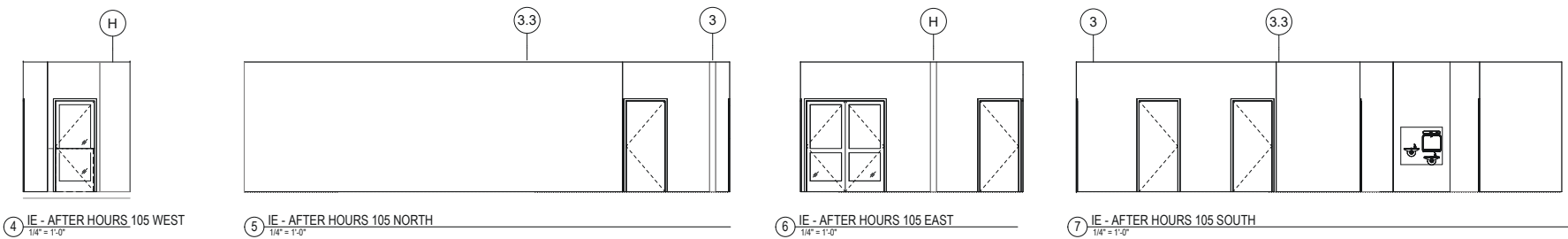
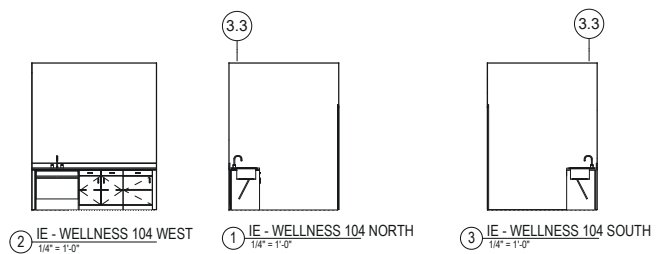
24"x36"



**GROUP 4**  
 ARCHITECTURE  
 RESEARCH +  
 PLANNING, INC  
 211 LINDEN AVENUE  
 SO. SAN FRANCISCO  
 CA 94080 USA  
 650.871.0709

**INTERIOR WALL FINISH LEGEND**

- AWP 1
- AWP 2
- PAINT
- PAINT (ACCENT COLOR 1)
- PAINT (ACCENT COLOR 2)
- WP - WOOD VENEER PANEL
- MAGNETIC MARKER BOARD



**ELK GROVE LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

Project Arch.	—
CA REG.	—
PROJECT:	22583-02
ISSUE	DATE
SD SUBMITTAL	03/03/2022
ENTIREMENT PACKAGE	09/01/2023

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SHEET TITLE AND NO.  
 INTERIOR ELEVATIONS

**A5.0-6**

24"x36"



**GROUP 4**  
 ARCHITECTURE  
 RESEARCH +  
 PLANNING, INC  
 211 LINDEN AVENUE  
 SO. SAN FRANCISCO  
 CA 94080 USA  
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**ELK GROVE**  
 sac  
 idb

**ELK GROVE  
 LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

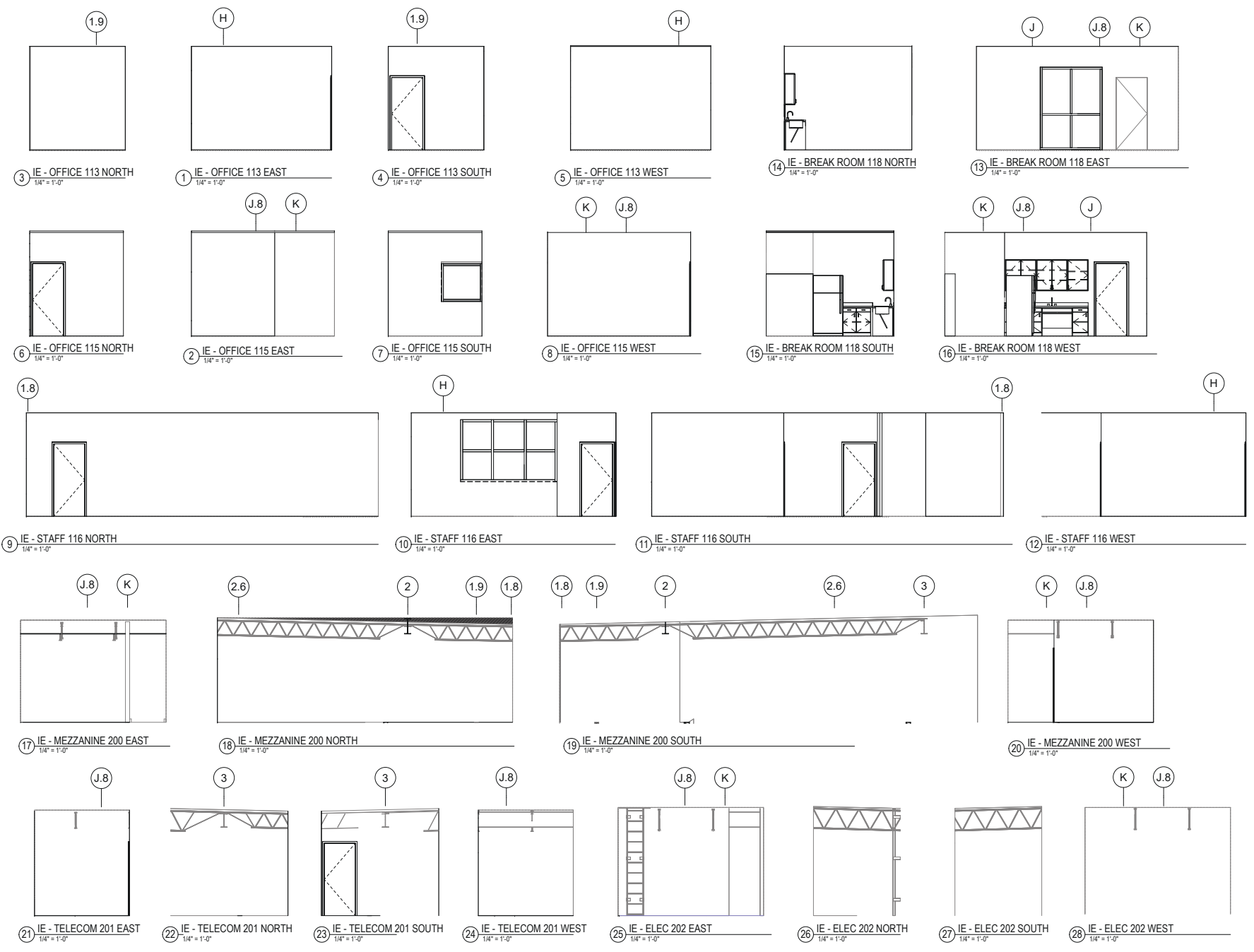
Project Arch.	—
CA REG.	—
PROJECT:	22583-02
ISSUE	DATE
SD SUBMITTAL	03/03/2022
ENTITLEMENT PACKAGE	09/01/2023

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SHEET TITLE AND NO.  
 INTERIOR  
 ELEVATIONS

**A5.0-7**

24"x36"





**GROUP 4**  
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 PLANNING, INC  
 211 LINDEN AVENUE  
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**ELK GROVE  
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 SD SUBMITTAL 03/03/2022  
 ENTITLEMENT PACKAGE 09/01/2023

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SHEET TITLE AND NO.  
 REFLECTED  
 CEILING PLAN -  
 FIRST FLOOR LOW

**A6.0-1**

**SHEET NOTES**

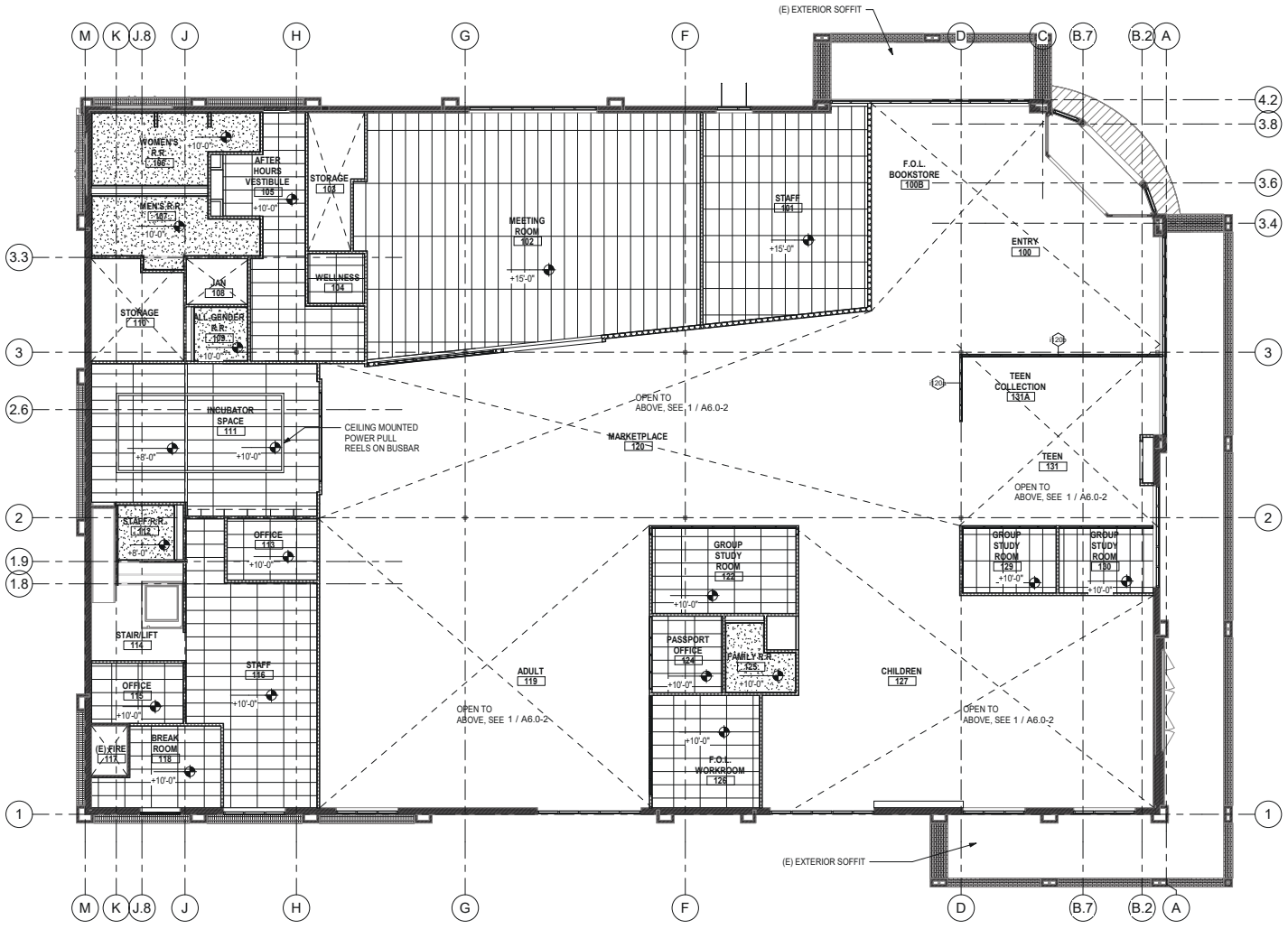
1. ALL NOTES STATED BELOW SHALL APPLY TO A6 SERIES
2. ALL ACT CEILING GRID SHALL BE FACTORY MITERED
3. COORDINATE PENETRATIONS IN ROOF WITH STRUCTURAL
4. MECHANICAL, PLUMBING, CIVIL, ELECTRICAL & TELECOM LIGHTING & MECHANICAL FIXTURES SHOWN FOR COORDINATION. S.M.D., S.E.D. FOR COMPLETE QUANTITY & EXTENTS OF FIXTURES.
5. ALL EXPOSED BUILDING ELEMENTS SHALL BE PAINTED. U.O.N. EXPOSED IS DEFINED AS VISIBLE, TO ANY EXTENT, WHEN STANDING ON ANY FLOOR, STAIR OR SEATING SURFACE

**WALL TYPE LEGEND**

- NEW WALL - INSULATED
- NEW WALL - UNINSULATED
- EXISTING WALL, TO REMAIN

**REFLECTED CEILING PLAN LEGEND**

- ACT-1: 2X4' ACOUSTIC CEILING TILE
- ACT-2: 2X8' LARGE FORMAT ACOUSTIC CEILING TILE
- G-1: GYPSUM BOARD CEILING
- EXPOSED STRUCTURE
- ACOUSTIC BAFFLES, INDIVIDUALLY SUSPENDED W/ AIRCRAFT CABLES



1 RCP01- REFLECTED CEILING PLAN-FIRST FLOOR LOW  
 1/8" = 1'-0"



24"x36"



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Project Arch. —  
 CA REG. —  
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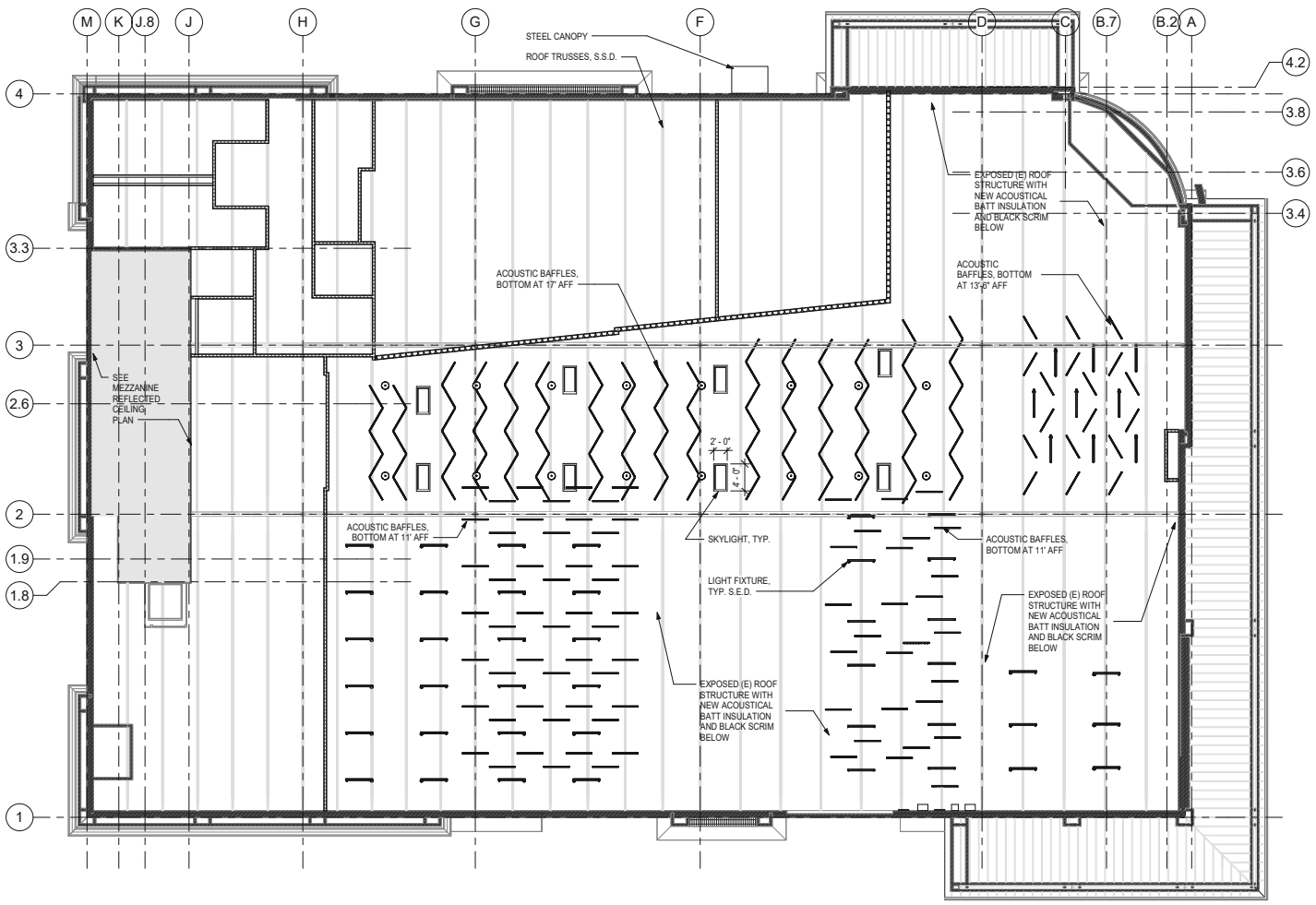
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SHEET TITLE AND NO.  
 REFLECTED  
 CEILING PLAN -  
 FIRST FLOOR HIGH

**A6.0-2**

**SHEET NOTES**

1. ALL NOTES STATED BELOW SHALL APPLY TO A6 SERIES
2. ALL ACT CEILING GRID SHALL BE FACTORY MITERED
3. COORDINATE PENETRATIONS IN ROOF WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL & TELECOM LIGHTING & MECHANICAL FIXTURES SHOWN FOR COORDINATION. S.M.D., S.E.D. FOR COMPLETE QUANTITY & EXTENTS OF FIXTURES.
4. ALL EXPOSED BUILDING ELEMENTS SHALL BE PAINTED. U.O.N. EXPOSED IS DEFINED AS VISIBLE, TO ANY EXTENT, WHEN STANDING ON ANY FLOOR, STAIR OR SEATING SURFACE



**WALL TYPE LEGEND**

- NEW WALL - INSULATED
- NEW WALL - UNINSULATED
- EXISTING WALL TO REMAIN

**REFLECTED CEILING PLAN LEGEND**

- ACT-1: 2'x4' ACOUSTIC CEILING TILE
- ACT-2: 2'x8' LARGE FORMAT ACOUSTIC CEILING TILE
- G-1 GYPSUM BOARD CEILING
- EXPOSED STRUCTURE
- ACOUSTIC BAFFLES, INDIVIDUALLY SUSPENDED W/ AIRCRAFT CABLES

① RCP01- REFLECTED CEILING PLAN-FIRST FLOOR HIGH  
 1/8" = 1'-0"



24"x36"



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**ELK GROVE  
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Project Arch.	—
CA REG.	—
PROJECT:	22583-02
ISSUE	DATE
SD SUBMITTAL	03/03/2022
ENTITLEMENT PACKAGE	09/01/2023

**DRAFT FOR INTERNAL  
 USE ONLY. NOT FOR  
 CONSTRUCTION.**

SHEET TITLE AND NO.  
 REFLECTED  
 CEILING PLAN -  
 MEZZANINE

**A6.0-3**

**SHEET NOTES**

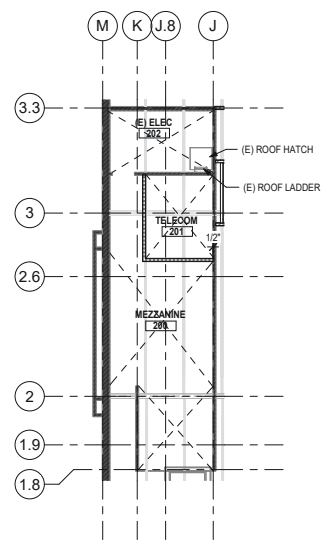
1. ALL NOTES STATED BELOW SHALL APPLY TO A6 SERIES
2. ALL ACT CEILING GRID SHALL BE FACTORY MITERED
3. COORDINATE PENETRATIONS IN ROOF WITH STRUCTURAL, MECHANICAL, PLUMBING, CIVIL, ELECTRICAL & TELECOM LIGHTING & MECHANICAL FIXTURES SHOWN FOR COORDINATION. S.M.D., S.E.D. FOR COMPLETE QUANTITY & EXTENTS OF FIXTURES.
4. ALL EXPOSED BUILDING ELEMENTS SHALL BE PAINTED, U.O.N. EXPOSED IS DEFINED AS VISIBLE, TO ANY EXTENT, WHEN STANDING ON ANY FLOOR, STAIR OR SEATING SURFACE

**WALL TYPE LEGEND**

- NEW WALL - INSULATED
- NEW WALL - UNINSULATED
- EXISTING WALL, TO REMAIN

**REFLECTED CEILING PLAN LEGEND**

- ACT-1: 2'X4' ACOUSTIC CEILING TILE
- ACT-2: 2'X8' LARGE FORMAT ACOUSTIC CEILING TILE
- G-1 GYPSUM BOARD CEILING
- EXPOSED STRUCTURE
- ACOUSTIC Baffles, INDIVIDUALLY SUSPENDED W/ AIRCRAFT CABLES



**1 RCP02- REFLECTED CEILING PLAN-MEZZANINE**  
 1/8" = 1'-0"



24"x36"



**GROUP 4**  
 ARCHITECTURE  
 RESEARCH +  
 PLANNING, INC  
 211 LINDEN AVENUE  
 SO. SAN FRANCISCO  
 CA 94080 USA  
 650-871-0709



**ELK GROVE  
 LIBRARY RETROFIT**  
 9260 ELK GROVE BLVD  
 ELK GROVE  
 CA 95624

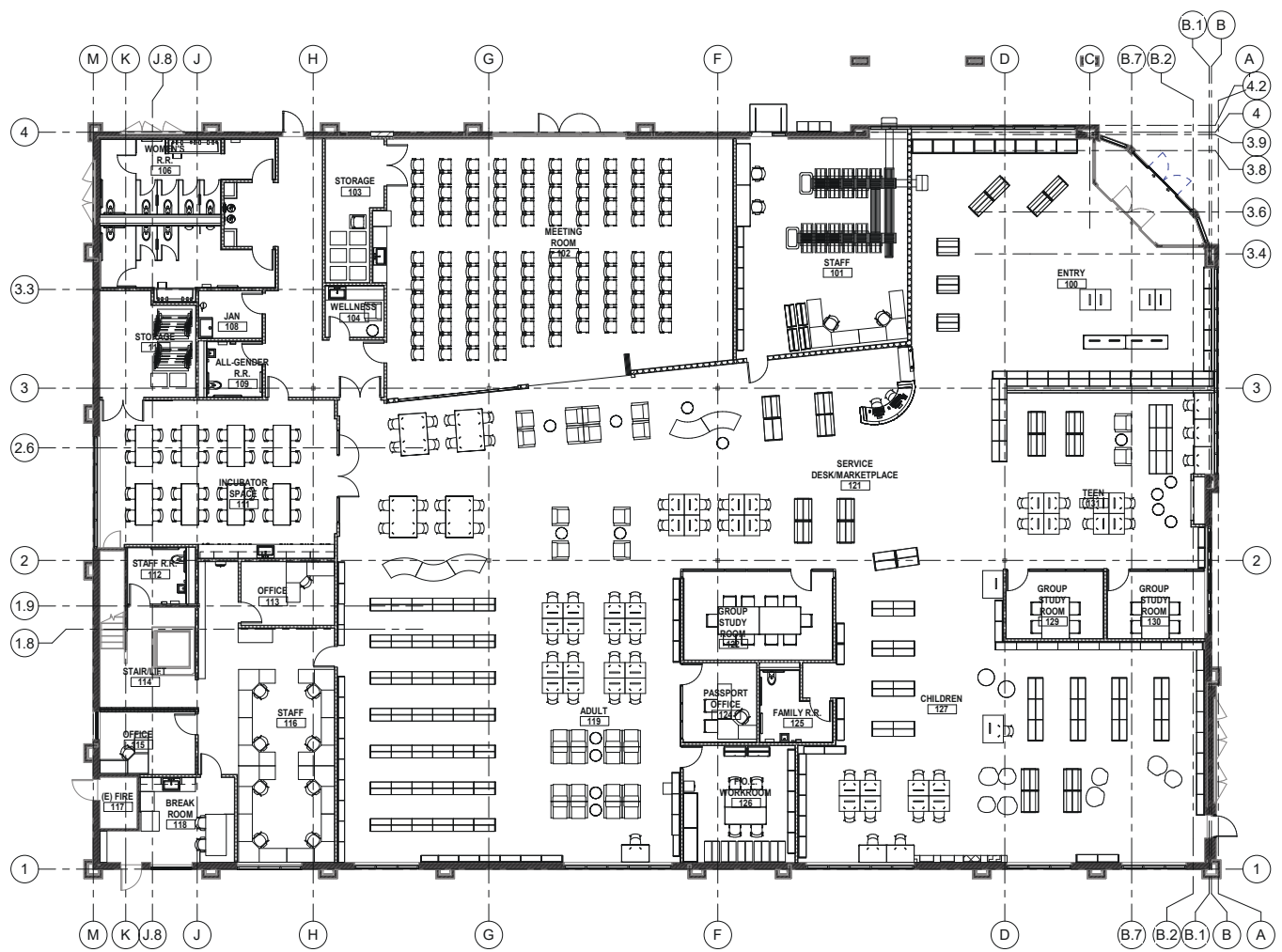
Project Arch. \_\_\_\_\_  
 CA REG. \_\_\_\_\_  
 PROJECT: 22583-02

ISSUE \_\_\_\_\_ DATE \_\_\_\_\_  
 SD SUBMITTAL 03/03/2022  
 ENTITLEMENT PACKAGE 09/01/2023

**DRAFT FOR INTERNAL  
 USE ONLY. NOT FOR  
 CONSTRUCTION.**

SHEET TITLE AND NO.  
 FURNITURE PLAN-  
 FIRST FLOOR  
 (N.I.C., FOR  
 REFERENCE ONLY)

**A10.1-1**



1 FP01- FIRST FLOOR FURNITURE PLAN  
 1/8" = 1'-0"



24"x36"



### Exhibit C: Project Conditions of Approval

<u>Conditions of Approval</u>		<u>Timing / Implementation</u>	<u>Enforcement / Monitoring</u>	<u>Verification (date and signature)</u>
<b>On-Going</b>				
1.	Development and operation of the proposed Project shall be consistent with the Project Description and Project Plans as provided in Exhibits A and B, incorporated herein by this reference. Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.	On-Going	Planning	
2.	This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.	On-Going	Planning	
3.	<p>Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Elk Grove, specifically including but not limited to the following:</p> <ul style="list-style-type: none"> <li>• The Old Town Special Planning Area</li> <li>• The Elk Grove Zoning Code (Title 23 of the EGMC)</li> <li>• EGMC Chapter 19.12 (Tree Preservation and Protection)</li> <li>• EGMC Chapter 14.10 (Water Efficient Landscape Requirements)</li> </ul>	On-Going	Planning Public Works	
4.	<p>The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works. All street improvements shall include vertical curb and gutter, except as approved by Public Works, in which case street improvements shall include rolled curb and gutter. Specific locations on median(s) that require emergency vehicle access will be evaluated during review and acceptance of the Improvement Plans.</p> <p>Public sewer, water, and other utility infrastructure shall be designed and constructed in accordance with the standards of the appropriate utility.</p>	On-Going	Public Works EGWD SASD SMUD PG&E	

<b><u>Conditions of Approval</u></b>		<b><u>Timing / Implementation</u></b>	<b><u>Enforcement / Monitoring</u></b>	<b><u>Verification (date and signature)</u></b>
5.	The Applicant shall pay all applicable plan check fees, impact fees, or other costs as required by the City, the Cosumnes Community Services District (CCSD), Sacramento Area Sewer District (SASD), Elk Grove Water District (EGWD), or other agencies or services providers as established by law.	On-Going	Planning Public Works CCSD EGWD SASD	
6.	Approval of this project does not relieve the Applicant from the applicable requirements of subsequent permits and approvals, including but not limited to the following as may be applicable: <ul style="list-style-type: none"> <li>• Grading Permit and Improvement Plan</li> <li>• Building Permit and Certificate of Occupancy</li> <li>• Requirements of the Sacramento Metropolitan Air Quality Management District</li> <li>• Fire permit</li> </ul>	On-Going	Planning Public Works Building CCSD EGWD SASD	
7.	Landscaping and tree trimming shall be maintained so that it does not interfere with the operation of surveillance cameras or the lighting of the parking lot, walkways, and outdoor common areas. Trees overhanging the fire lane shall be maintained at 13 feet 6 inches of vertical clearance. Tree trimming shall be completed pursuant to EGMC 19.12 and overseen by a certified arborist.	On-Going	Police CCSD Fire Planning	
8.	Project shall maintain the “easement for future access” (located at the southwest corner of the project site) between parcel 134-0050-0001 and parcel 134-0072-011 for future development of a secondary fire access point for parcel 134-0072-011, when needed.	On-Going	CCSD Fire	
9.	Upon development of parcel 134-0072-011: A Fire Access Agreement between Cosumnes Community Services District and all parcels connected to and served by the fire access easement shall be provided. Fire Access Agreement shall be in a form acceptable to both Applicant and CCSD Fire and recorded with the Sacramento County Recorder.	On-Going	CCSD Fire	

<b><u>Conditions of Approval</u></b>		<b><u>Timing / Implementation</u></b>	<b><u>Enforcement / Monitoring</u></b>	<b><u>Verification (date and signature)</u></b>
10.	<p>Upon development of parcel 134-0072-011: A Fire Access Roadway Maintenance Agreement (RMA) between Cosumnes Community Services District and all parcels connected to and served by the fire access roadway shall be provided. Fire Access Roadway Maintenance Agreement shall in a form acceptable to both Applicant and CCSD Fire and recorded with the Sacramento County Recorder. The roadway maintenance agreement shall include the following:  <a href="https://www.cosumnescsd.gov/DocumentCenter/View/24139/CSD-Road-Maintenance-Agreement-Must-be-notarized-PDF">https://www.cosumnescsd.gov/DocumentCenter/View/24139/CSD-Road-Maintenance-Agreement-Must-be-notarized-PDF</a></p> <ul style="list-style-type: none"> <li>a. Provisions for the necessary repair and maintenance of the roadway surface</li> <li>b. Removal of vegetation overgrowing the roadway and infringing on the roadway clear vertical height of thirteen feet six inches (13'6") or width of twenty feet (20')</li> <li>c. Provisions for the maintenance, repair, and/or replacement of NO PARKING-FIRE LANE signage or striping</li> <li>d. Provisions for the necessary repair and maintenance of vehicle and pedestrian access gates and opening systems</li> </ul>	On-Going	CCSD Fire	
11.	The installation of on-site traffic calming devices such as but not limited to speed bumps, humps or other designs are prohibited unless approved by the fire code official.	On-Going	CCSD Fire	
12.	<p>All fire and life safety systems, including but not be limited to, the fire sprinkler system and fire alarm system, shall be maintained in accordance with California Code of Regulations Title 19. Inspection, testing, and maintenance reports shall be submitted to the Cosumnes Fire Department online reporting system.  <a href="https://www.cosumnescsd.gov/1291/Maintaining-Commercial-Fire-Systems">https://www.cosumnescsd.gov/1291/Maintaining-Commercial-Fire-Systems</a></p>	On-Going	CCSD Fire	

<b><u>Conditions of Approval</u></b>		<b><u>Timing / Implementation</u></b>	<b><u>Enforcement / Monitoring</u></b>	<b><u>Verification (date and signature)</u></b>
13.	SMUD has existing underground 12kV facilities along Elk Grove Blvd, Waterman Road and on the project parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.	On-Going	SMUD	
<b>Prior To or In Conjunction With Improvement and/or Building Permit Submittal or Approval</b>				
14.	The Planning Division shall be notified immediately if any prehistoric, archaeological, or paleontologic artifact is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to evaluate the finds and recommend appropriate action.  A note stating the above shall be placed on the Improvement Plans.	Improvement Plan	Planning	
15.	All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California's Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed.  A note stating the above shall be placed on the Improvement Plans.	Improvement Plans	Planning	
16.	Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property. A SMUD specific easement will be required for electrical facilities dedicated for car chargers.	Improvement Plans	SMUD	
17.	In the event the Applicant requires the relocation or removal of existing SMUD facilities on the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.	Improvement Plans	SMUD	
18.	SMUD reserves the right to use any portion of its easements on the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.	Improvement Plans	SMUD	

<b><u>Conditions of Approval</u></b>		<b><u>Timing / Implementation</u></b>	<b><u>Enforcement / Monitoring</u></b>	<b><u>Verification (date and signature)</u></b>
19.	The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).	Improvement Plans	SMUD	
20.	The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <a href="https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services">https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services</a>	Improvement Plans	SMUD	
21.	A minimum of 5 bicycle racks shall be provided.	Improvement Plans	Planning	
22.	The Applicant shall install at least one speed bump, or other speed control device, in the parking lot such that drivers are discouraged from using the parking lot as a bypass of the intersection. The quantity, location and design of the speed control device(s) shall be to the satisfaction of the Development Services Director or City Engineer and CCSD Fire.	Improvement Plans	Engineering CCSD Fire	
<b>Prior to or In Conjunction with Building Permit Submittal or Issuance/Approval</b>				
23.	The Applicant shall prepare and submit for review and approval, prior to Building Permit issuance, a Photometric Study, documenting the nighttime illumination of the site from on-site light fixtures, including both freestanding (e.g., parking lot) and building attached fixtures. The Photometric Study and proposed lighting plan shall comply with the illumination requirements of EGMC Chapter 23.56 (Lighting).	Building Permit	Planning Police	
24.	All seat walls shall be designed and constructed with dividers that prevent loitering.	Building Permit	Planning Police	
25.	To further discourage loiterers, a minimum of two signs shall be posted in the parking lot area that prohibits loitering. These signs shall be in an area where they are clearly visible during nighttime hours, and they shall reference Elk Grove Municipal Code (EGMC) 9.12.010 – Prohibited Loitering.	Building Permit	Police	

<b><u>Conditions of Approval</u></b>		<b><u>Timing / Implementation</u></b>	<b><u>Enforcement / Monitoring</u></b>	<b><u>Verification (date and signature)</u></b>
26.	Final design of the “Library of Things” shed shall be to the satisfaction of the Development Services Director. The shed and immediate surroundings shall be designed to provide natural surveillance and visibility to prevent ambush points and loitering areas. The shed shall be locked at all times when not being accessed to prevent theft. On-site security cameras shall be located to provide monitoring of the shed at all times.	Building Permit	Planning Police	
27.	Final design of the Book Locker and Shelter shall be to the satisfaction of the Development Services Director.	Building Permit	Planning	
28.	The Applicant shall prepare and submit for review and approval, prior to Building Permit issuance, a final Landscape Plan, to the satisfaction of the Development Services Director, that identifies all landscape improvements to be completed.	Building Permit	Planning	
<b>Prior to Certificate of Occupancy</b>				
29.	Approved radio coverage for emergency responders shall be provided. A test conducted by a licensed contractor shall be performed at building or project completion to determine if the public safety communication system is adequate for emergency responder radio coverage. Buildings that cannot support the required level of radio coverage shall install a distributed antenna system with FCC certified signal boosters subject to Cosumnes Fire Department review and approval.	Certificate of Occupancy	CCSD Fire	

##

**CERTIFICATION**  
**ELK GROVE CITY COUNCIL RESOLUTION NO. 2023-253**

STATE OF CALIFORNIA        )  
COUNTY OF SACRAMENTO    )        ss  
CITY OF ELK GROVE         )

*I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on October 25, 2023 by the following vote:*

**AYES:           COUNCILMEMBERS:       Singh-Allen, Spease, Brewer, Robles, Suen**

**NOES:           COUNCILMEMBERS:       None**

**ABSTAIN:       COUNCILMEMBERS:       None**

**ABSENT:        COUNCILMEMBERS:       None**

  
\_\_\_\_\_  
**Jason Lindgren, City Clerk**  
**City of Elk Grove, California**