



CITY OF ELK GROVE
CITY COUNCIL STAFF REPORT

AGENDA TITLE: A public hearing for a District Development Plan for 12.8 acres in the Lent Ranch Special Planning Area for the Feletto Property project (EG-08-044).

MEETING DATE: December 10, 2008

**PREPARED BY/
DEPARTMENT HEAD:** Jessica Shalamunec, Planning Manager

PROJECT INFORMATION:

Location: Southwest and Southeast corner of Kammerer Road and South of Promenade Parkway
Planner: Jessica Shalamunec
Agent: Gillum Consulting, Inc
Property Owner/Applicant: Feletto Development, LLC

RECOMMENDED ACTION:

The Planning Commission recommends that the City Council approve a Resolution of the City Council of the City of Elk Grove approving the Feletto Property District Development Plan subject to the findings and conditions of approval for the project.

PROJECT DESCRIPTION:

The project consists of a District Development Plan for a 12.8 acre visitor commercial district (District F) within the Lent Ranch Special Planning Area (SPA). The District Development Plan includes review of conceptual development plans: conceptual site plan, landscape plan, sign program, site amenities, and architectural concepts, which will be used for future Development Plan Review entitlements.

BACKGROUND INFORMATION:

The Lent Ranch SPA was approved by the City Council in June 2001. The SPA utilizes 5 different land use types to divide the 295 acre site into 8 commercial districts. The 5 land uses types include Regional Mall, Community Commercial, Office and Entertainment, Visitor Commercial, and Multi-Family Residential (Figure 2). The SPA provides allowable use information and development standards for each land use type.

In addition to approval of the Lent Ranch SPA, the City Council approved a Development Agreement (DA) in 2001 between the City and the owners of properties within the boundaries of the SPA. This DA provides additional guidance for development within the SPA.

PROJECT SETTING:

The project site is located on the southwest and southeast corners of Kammerer Road and South of Promenade Parkway within the Lent Ranch SPA, south of Elk Grove Promenade Mall.

Figure 1: Vicinity Map

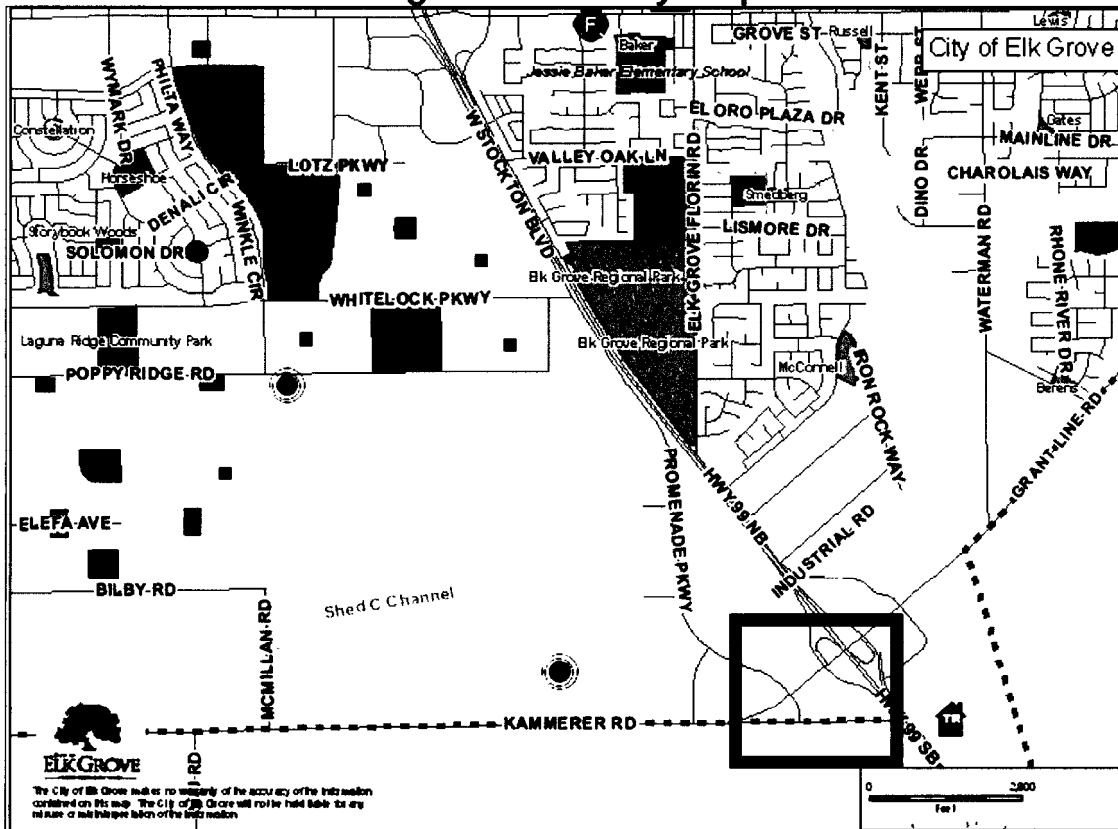
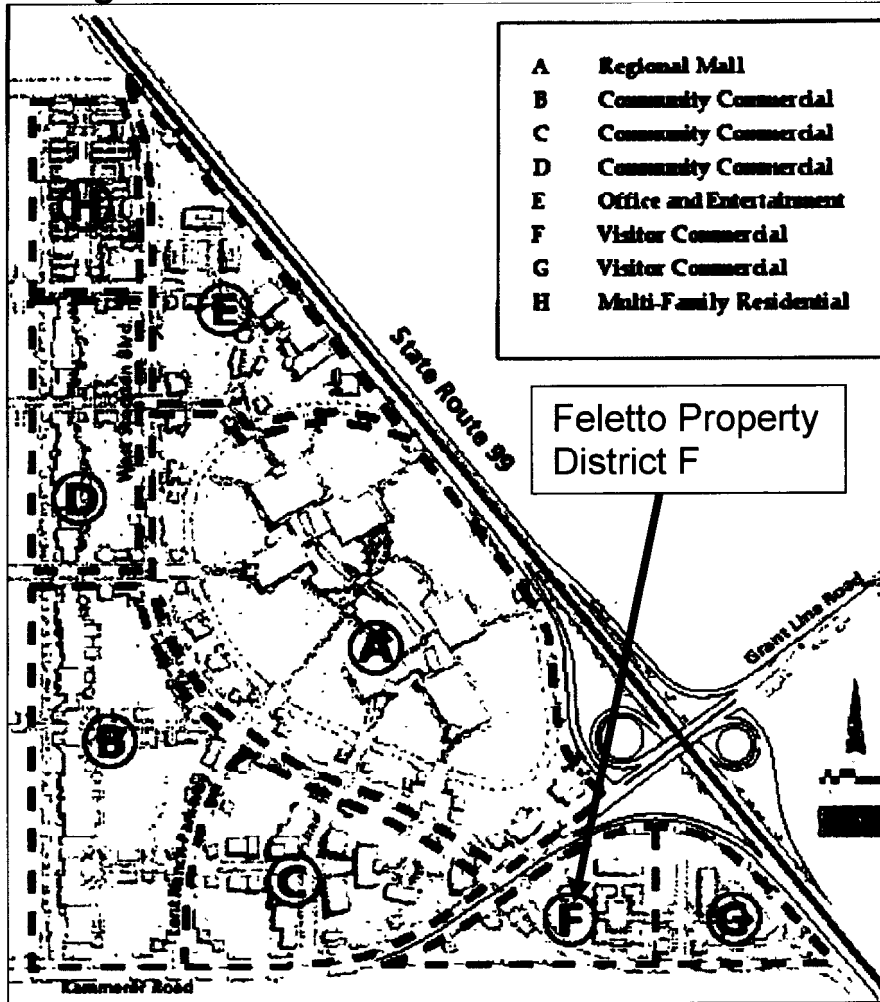


Figure 2: Lent Ranch SPA Land Use Exhibit



ANALYSIS:
General Plan

The proposed Feletto Property District Development Plan (DDP) has been reviewed for consistency with all applicable General Plan goals and policies. The General Plan encourages land use patterns that provide residents and the region the opportunities to shop, eat, and entertain in Elk Grove. The proposed project is planned to be a gateway to all the surrounding communities as well as the traveling public. Feletto Property DDP will accommodate a variety of uses that will provide jobs as well as enhance the City's economic base through designing a gateway as a positive environment and a desirable place to establish businesses in accordance with the Economic and Land Use Element.

The Lent Ranch Special Planning Area

The Feletto Property DDP has been analyzed for consistency with the requirements of Lent Ranch SPA and Development Agreement (DA). The SPA provides goals and objectives as well as land use and development standards. The DA reiterates the City's expectation of development within the SPA and vests the developer's rights to develop commercial projects in an orderly manner consistent with the SPA. The proposed project has been designed consistent with the standards of both the SPA and the DA.

District Development Plan

Per Section 5 of the Lent Ranch Special Planning Area (SPA), each district is required to obtain approval of a District Development Plan, which is the Stage 2 entitlement for projects within the SPA. The District Development Plan is intended to establish an overall concept plan for the individual District including review of a conceptual site plan, conceptual architecture, landscaping, setbacks, signage, and other amenities to be developed as a cohesive project. The Feletto Property DDP encompasses SPA District F (Visitor Commercial). This district is intended to serve the surrounding community as well as the traveling public as a gateway for the remainder of the SPA.

As required by Tables 5-1 of the Lent Ranch SPA, the following exhibits have been provided by the applicant for review:

District Development Plan

- Site Plan
- Landscape Plan
- Conceptual Architecture
- Conceptual Signage Program
- Site Amenities Plan
- Grading and Drainage Plan
- Conceptual Photometric Plan

Site Plan

Feletto Property DDP is located immediately south of the Elk Grove Promenade mall, on the western side of State Route 99. Promenade

Parkway intersects the project site. As proposed in the site plan below, the main buildings within the District are oriented towards Promenade Parkway and Kammerer Road. The site plan incorporates approximately 33,200 square feet of commercial and restaurant building space, divided into six building envelopes. Buildings proposed within the eastern portion of the District include two four-story, 120 and 136 room hotels. A 2,950 square foot service station building, car wash, and canopy are proposed at the intersection of Kammerer Road and Promenade Parkway, in the western portion of the District. A landscaped area will contain a pylon sign for the project, which is located immediately northeast of proposed hotel 1.

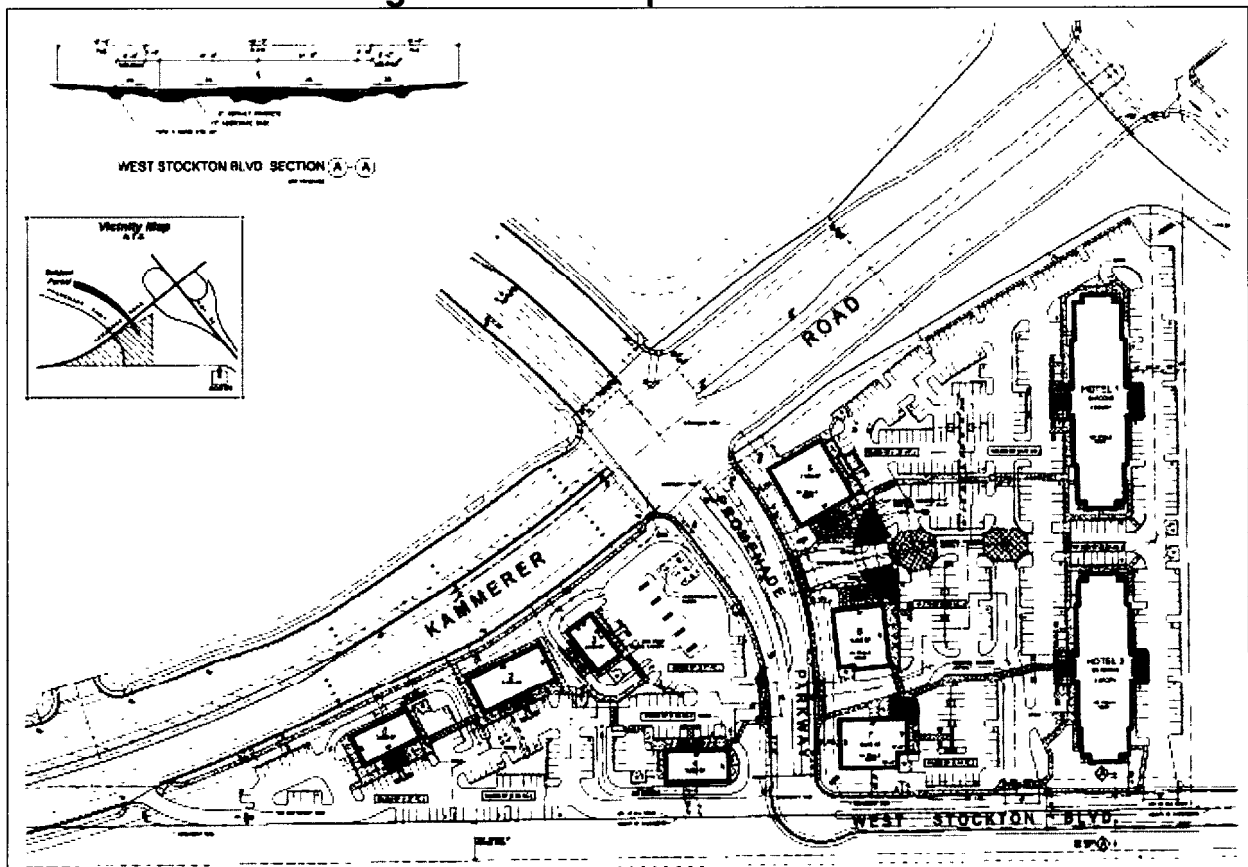
Development standards established by the SPA for the District include building setbacks, height limits, and parking ratios. Proposed buildings within the project have been located consistent with the front and side street setback requirements. Building heights within this District are limited to 40 feet for hotel buildings, unless one additional foot of setback is provided for each additional one foot of height over the 40 foot height limit, up to a maximum of 70 feet. Proposed hotel 1 is approximately 50 feet in height and is located 38.4 feet from West Stockton Boulevard, providing 13 additional feet of setback above the requisite 25 feet, consistent with the SPA standards. Proposed hotel 2 is also approximately 50 feet in height. All other proposed buildings are less than 40 feet in height and are setback in compliance with the SPA.

The Feletto Property DDP also includes a service station with a retail building, canopy, and car wash. The proposed retail building and car wash are in compliance with the 2001 Zoning Code (340-43) with regards to the height limit; however, the proposed canopy exceeds the required height limit of 17 feet by approximately 2 feet. Therefore, the applicant has requested an exception to exceed the height limit for the proposed canopy. The applicant's justification for the exception is based on the need to conform to national fuel retailer specifications, to avoid visual clutter, and to allow travelers to recognize their fueling opportunity in time to provide them with adequate distance to safely access the site. Given the proposed service station's location more than 500 feet from any residential neighborhood, the limited amount by which the canopy exceeds the height limit, and based on the applicant's justification described above, staff supports the request for an exception to the height limit for the proposed canopy.

Pursuant to Section 12 in the Lent Ranch SPA, parking within this District is required to be provided at a ratio of 5 spaces per 1,000 square feet of commercial buildings. Additionally, 1 space per guest room is required for the two proposed hotels and 8 spaces per 1,000 square feet of restaurant buildings. As proposed, the site plan will accommodate 550 parking spaces, which exceeds the minimum required parking by 31 spaces (519 parking spaces required).

The site plan provides two vehicular access points from Promenade Parkway into the commercial and hotel buildings portion of the District. Additionally, two access points into the west side of the district for restaurants and retail are provided. Pedestrian access is provided within the landscape corridors on Promenade Parkway, West Stockton Boulevard, and Kammerer Road, connecting through the parking areas to the building, via several landscaped pathways that are unimpeded by vehicular traffic.

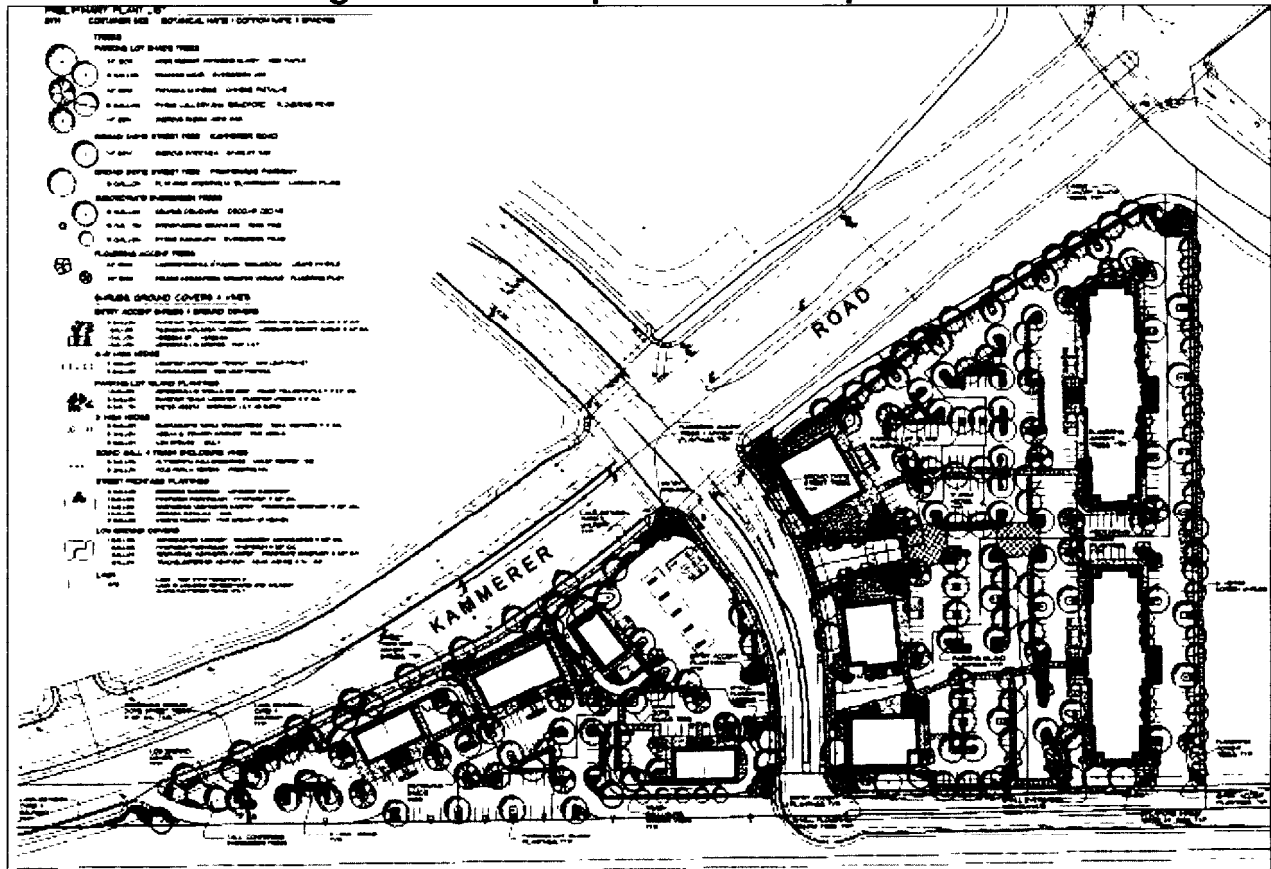
Figure 3: Conceptual Site Plan



Landscape Plan

The conceptual landscape plans provide planting and hardscape details to be incorporated through the proposed Feletto Property DDP. As described above, landscaped pedestrian pathways are provided through the parking areas in order to accommodate safe pedestrian passage through the project site. The project will incorporate three potential public plazas, located near the future commercial buildings, to provide gathering spots for customers. The landscape plan is consistent with the standards of the SPA including parking lot shading and landscaped islands for every 20 parking spaces. The parking lots will be 60% shaded with landscape of varied trees and shrubs. These plans have been reviewed and conditioned by the City's Landscape Architect. A portion of these plans is shown in the figure below. The remaining landscape exhibits are included in Attachment 2.

Figure 4: Conceptual Landscape Plan



Conceptual Architecture

The architectural style for the overall Feletto Property DDP is generally traditional in nature, relying on the use of a variety of materials and colors to maintain visual interest. The design scheme utilizes mainly linear design features such as columns and awnings as well as varying building planes to invoke the desired design style. Materials to be used for the buildings include cement plaster, stone veneer and an assortment of colors with metal and fabric awnings and trellises. The materials and color palette are intended to be conceptual and not restrict other designs that may suit the building occupant better; however each building shall be cohesive with the other buildings in the district. A series of linear awnings and trellises will be used to provide shaded entryways and walkways for pedestrian traffic between individual tenants within the district. Complete details of the conceptual architecture exhibits are included in Attachment 2. All proposed buildings will be reviewed through the Development Plan Review entitlement process for consistency with the conceptual architecture.

Sign Program

The signage program included in Attachment 2 proposes four sign categories: building mounted signs, monument signs, directional signs, and a pylon sign for vehicles visible from Promenade Parkway, West Stockton Boulevard, Kammerer Road and State Route 99. The site plan shows the location of each monument sign as well as the pylon sign. The proposed sign program shows the location of the building mounted signs on each of the buildings. As proposed, the sign program allows for each tenant to have signage per the building elevations included in the exhibits and consistent with the standards established in the 2001 Zoning Code (335-20). The total area of all signs will not exceed 2 square feet per foot of building frontage if less than 50 feet from the right of way. If buildings are located more than 50 feet from the right-of-way, the signs will not exceed 3 square feet per foot of building frontage.

There are six monument signs proposed on the site plan throughout the District. The locations for the monument signs are on the corners of West Stockton Boulevard and Promenade Parkway, as well as at the driveway entrances of the district. The design of the monument sign is the same for all entrances. The monument signs are two-sided, fabricated aluminum

with stone veneer base to match the building design. There are two sizes of monument signs, both of which comply with the Zoning Code. Monument sign A is proposed to be 12 feet tall. Monument sign B is proposed to be 14 feet tall. Additionally, the signs are setback a minimum of 10 feet from the right of way in compliance with the Code.

The pylon sign will be located within the landscaped area north of proposed hotel 1. As proposed, the pylon sign will have a total height of 70 feet including the structural base and will accommodate identification for each tenant in the district. The pylon sign exceeds the height limit; however the reason for the increase in height is due to the location of the site and the grade difference between the site and the adjacent interchange. As described above, the SPA identifies this District as a gateway into the Lent Ranch SPA. The proposed pylon sign provides adequate identification for the commercial services within the district for both north and south bound travelers on State Route 99 as well other locations within the SPA. At first, the Planning Commission had concerns regarding the height of the pylon sign. But after the engineer explained that the height is for clearance from the adjacent interchange, the commission had no further issues or concerns with the sign. The sign program will serve to provide a cohesive approach to signage throughout the proposed project further enhancing the overall design of the District.

Site Amenities Plan

In addition to building materials, the Site Amenities package in Attachment 2 provides site furniture, bicycle racks, bollards, planters, and other ornamental materials to be incorporated into the proposed project. As identified above, the project has been designed to provide multiple public plazas, in which the site amenities will be incorporated. These items have also been to further enhance the overall design of the project and add a sense of place for the District.

Grading and Drainage Plan & Conceptual Photometric Plan

Both of these plans were submitted with the application and reviewed by the appropriate agencies and departments. They are in compliance with the 2001 Zoning Code and the Lent Ranch SPA.

PLANNING COMMISSION MEETING:

The Planning Commission conducted the public hearing on the Feletto Property DDP on November 6, 2008. Following staff's presentation, the applicant provided background information and answered questions regarding the project details, the questions from the Planning Commission which are discussed below in detail. There was no public comment and the Planning Commission recommended approval of the project.

At the hearing, Public Works discussed their concerns regarding the driveways on the east side of the site. The applicant has indicated that a second driveway is necessary to ensure this level of corner tenant can be achieved and as such, did not agree with Condition 17. The Planning Commission recommended that the condition be removed. They do not foresee any problems with the extra driveway on Promenade Parkway. Therefore, the condition was removed from the Conditions of Approval.

In addition, Public Works conditioned the project to require reciprocal access within the eastern portion of the project site through to the adjacent property east of the project site (District G) to facilitate easier vehicular access between the Districts for future use. At the hearing, the applicant expressed that due to the unknown type of development that may occur within District G, they do not agree with Condition 19. The Planning Commission recommended keeping this condition to let staff deal with the issue if and when the issue occurs with the adjacent property. It is unknown what use will be going into the adjacent property.

ENVIRONMENTAL ANALYSIS:

Staff has reviewed the project and determined that it is exempt from the California Environmental Quality Act (CEQA) review pursuant to section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning). The proposed Feletto Property DDP includes two proposed hotels and commercial buildings which are consistent with the General Plan and Lent Ranch SPA. Based upon staff's analysis, all potentially significant environmental effects for this project have been adequately analyzed and addressed in the Environmental Impact Report (EIR) previously prepared for the Lent Ranch Special Planning Area and adopted by the City in June of 2001 in accordance with CEQA. There are no project-specific significant effects which are peculiar to the proposed project or its site that were not

analyzed in the previously certified EIR. Therefore, no further review is required.

FISCAL IMPACT:

Development of the proposed project will result in increased revenue from Retail Sales Tax as well as Transient Occupancy Tax. The proposed project will also result in increased costs to the City for the provision of specific governmental services such as police services.

ATTACHMENTS:

1. Resolution and Conditions of Approval
2. Project Exhibits
3. Planning Commission Staff Report dated November 6, 2008 (without Attachments).

ATTACHMENT 1
Resolution and Conditions of Approval

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
APPROVING THE FELETTO PROPERTY
DISTRICT DEVELOPMENT PLAN PROJECT NO. EG-08-044
ASSESSOR PARCEL NUMBERS 134-1010-009 AND 134-1010-010**

WHEREAS, Feletto Development, LLC, (hereinafter referred to as Applicant) filed an application with the City of Elk Grove (hereinafter referred to as City) for the Feletto Property District Development Plan (DDP) (Assessor Parcel Numbers 134-1010-009 & 134-1010-010); and

WHEREAS, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

WHEREAS, California Environmental Quality Act (CEQA) Guidelines §15183 exemption applies to projects that are consistent with a Community Plan, General Plan, or Zoning Code; and

WHEREAS, the proposed Feletto Property DDP includes commercial development that is consistent with the General Plan, the Lent Ranch Special Planning Area, and all applicable Zoning Code requirements; and

WHEREAS, all required services and access to the proposed parcels are in compliance with the City's standards and are available; and

WHEREAS, all potentially significant environmental effects for this project have been adequately analyzed and addressed in the Environmental Impact Report (EIR) previously prepared for the Lent Ranch Special Planning Area and adopted by the City in June of 2001; and

WHEREAS, there are no project-specific significant effects which are peculiar to the proposed project or its site that were not analyzed in the previously certified EIR; and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on November 6, 2008 and recommended City Council approval of the project.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Elk Grove hereby approves the Feletto Property District Development Plan based on the following findings and the attached conditions of approval attached hereto and incorporated here in as Exhibit A.

Findings

California Environmental Quality Act (CEQA)

Finding: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Evidence: The proposed Feletto Property DDP includes a District with restaurants, hotels, retail, and service stations which is consistent with both the General Plan and Lent Ranch Special Planning Area (SPA). Based upon staff's analysis, all potentially significant environmental effects for this project have been adequately analyzed and addressed in the Environmental Impact Report (EIR) previously prepared for the Lent Ranch Special Planning Area and adopted by the City in June of 2001 in accordance with CEQA. There are no project-specific significant effects which are peculiar to the proposed project or its site that were not analyzed in the previously certified EIR. Therefore, no further review is required.

District Development Plan

Finding: The proposed District Development Plan is consistent with the Lent Ranch Special Planning Area (SPA) and establishes the design and development standards for the Visitor Commercial land use district.

Evidence: Feletto Property District Development Plan includes a conceptual site plan, conceptual architecture, landscaping, sign program, conceptual amenities and pedestrian connectivity for the site. These guidelines and standards will provide the framework for future development plan review entitlement requests for buildings within the proposed district.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 10th day of December 2008.

GARY DAVIS, MAYOR of the
CITY OF ELK GROVE

ATTEST:

APPROVED AS TO FORM:

SUSAN J. BLACKSTON, CITY CLERK

SUSAN COCHRAN, CITY ATTORNEY

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<u>On-going</u>			
<p>1. The action approved is for the District Development Plan for the Feletto Property District Development Plan as described in the September 19, 2008 staff report and as illustrated on the following exhibits:</p> <p><i>District Development Plan for Feletto Property District F:</i></p> <ul style="list-style-type: none"> • Site Plan (received September 19, 2008) • Grading and Drainage (received June 25, 2008) • Overall Preliminary Landscape Plan (received September 19, 2008) • Overall Photometric Plan (received September 19, 2008) • Sign Program (received September 19, 2008) • Site Amenities (received September 19, 2005) • Conceptual Architecture for future buildable area (received September 19, 2008) <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
<p>2. The Applicant or Successors in Interest (hereby referred to as the Applicant) shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
<p>3. This action does not relieve the Applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.</p>	On-Going	Planning	
<p>4. The Applicant is notified that this property is part of the Lent Ranch Special Planning Area (SPA) project (EG-00-038), 2001 Development Agreement, 2007 Condemnation Settlement Agreement, 1999 Improvement Standards, and 2001 Construction standards. This project is subject to all applicable mitigation measures and conditions of approval from the Lent Ranch SPA project.</p>	On-Going	Planning	

<u>Conditions of Approval / Mitigation Measure</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
5.	Water Supply will be provided by the Sacramento County Water Agency.	On-Going	Sacramento County Water Agency (SCWA)	
<u>Prior to Approval of Improvement Plans</u>				
6.	Trash enclosures shall be located away from public view to the fullest extent possible.	Prior to Approval of Improvement Plans	Planning	
7.	Connection to the District's sewer system shall be required to the satisfaction of District. District Design Standards apply to sewer construction.	Improvement Plans	Sacramento Area Sewer District	
8.	Each parcel with a sewage source shall have a separate connection to the District public sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private on-site sewer line or District public sewer line.	Improvement Plans	Sacramento Area Sewer District	
9.	In order to obtain sewer service, construction of on-site District sewer infrastructure will be required. Sewer line may have to be constructed along new West Stockton Boulevard, up to the east end of the property line. Sewer/Utility plan, showing the sewer layout to serve all future parcels/buildings, should be approved by the District at the time of approval of the project improvement plans or record of the final map, whichever comes first.	Improvement Plans	Sacramento Area Sewer District	
10.	Sewer easements will be required. All sewer easements shall be dedicated to the District, in a form approved by the District Engineer. All District sewer easements shall be at least 20 feet in width and ensure continuous access for installation and maintenance. The District will provide maintenance only in public right-of-ways and in easements dedicated to the District.	Improvement Plans	Sacramento Area Sewer District	
11.	The subject property owner(s) and subsequent unit buyers shall be responsible for repair and/or replacement of all non-standard and/or enhanced surface treatments of streets and drives within these easements damaged by District maintenance and repair operations. This requirement shall be set forth in easement grant documents and be a covenant running with the land, be the responsibility of successors in interest in future land transfers and divisions and by language approved by the District.	Improvement Plans	Sacramento Area Sewer District	
12.	The District required there sewers to be located a minimum of 10 feet	Final Map	Sacramento Area	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
(measured horizontally from edge of pipe to edge of pipe) from all potable water lines. Separation of sewer line from other parallel utilities, such as storm drain and other 'dry' utilities (electrical, telephone, cable, etc.) shall be a minimum of 7 feet (measured horizontally from the center of pipe to the center of the pipe). Any deviation from the above separation due to depth and roadway width must be approved by the District on a case by case basis. Prior to the Final Map, the application shall be prepare a utility plan that will demonstrate that this condition is met.		Sewer District	
13. Prior to the start of construction, this project must demonstrate compliance with MM 4.3.1 (e), Construction Mitigation requirements by contacting the Sacramento Metropolitan Air Quality Management District (District) staff and submitting a list of all off-road construction equipment to be used on the project.	Improvement Plans	Sacramento Metropolitan Air Quality Management District	
14. The applicant shall submit landscape improvement plans (planting and irrigation) which incorporates the 2001 Zoning Code and Water Conserving Landscape Requirements and Conditions of Approval. Plans shall be submitted to the Planning Department and the Public Works Department for review and approval.	Improvement Plans	City's Landscape Architect	
15. All water lines shall be located within a public right-of-way or within easements dedicated to SCWA. Easements shall be reviewed and approved by Sacramento County Water Agency prior to Improvement Plan approval or Final Map approval.	Improvement Plans/Final Map	SCWA	
16. Destroy all abandoned wells on the proposed project site in accordance with the requirements of the Sacramento County Environmental Health Division. Clearly show all abandoned/destroyed wells on the improvement plans for the project. Prior to abandoning any existing agricultural wells, applicant shall use water from agricultural wells for grading and construction.	Improvement Plans	SCWA	
17. The Applicant shall design and install the driveways on Kammerer Road, Promenade Parkway and West Stockton Blvd in accordance with Section 4-10 of the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Improvement Plans	Public Works	
18. The Applicant shall abandon the existing northerly half of Kammerer Road along Parcel 134-1010-009 prior to Improvement Plan approval.	Improvement Plans	Public Works	
19. The Applicant shall provide a reciprocal access and utilities agreement	Improvement Plans	Public Works	

	Conditions of Approval / Mitigation Measure	Timing/ Implementation	Enforcement/ Monitoring	Verification (date and Signature)
	<p>between Parcel 134-1010-010 and the parcel to the east (APN 134-1010-011). The location of the access point(s) shall be to the satisfaction of Public Works and will be approved when these parcels are developed.</p>			
20.	<p>The Applicant shall dedicate, design and construct West Stockton Blvd along the project frontage. Improvements will be based on 60' collector in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. Right-of-Way shall be measured from back of curb.</p>	Improvement Plans	Public Works	
21.	<p>The Applicant shall design and construct appropriate off-site pavement transitions on West Stockton Boulevard east of the project site to the satisfaction of Public Works.</p>	Improvement Plans	Public Works	
22.	<p>If necessary, the Applicant shall dedicate a pedestrian easement and public utility easement adjacent to the project's frontage to Promenade Parkway, West Stockton Blvd and Kammerer Road to the satisfaction of Public Works.</p>	Improvement Plans	Public Works	
23.	<p>The Applicant shall dedicate visibility easements for the West Stockton Blvd and Promenade Parkway driveways per Section 4-14 of the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.</p>	Improvement Plans	Public Works	
24.	<p>The Applicant shall prepare and submit an on-site drainage study and plan that includes, but is not limited to: a pre- and post-project drainage analysis of the project and project impacts; and the proposed connections to the City Storm Drainage System with adequate supporting calculations. The project shall not cause a net loss of storage, nor an increase in velocity, of drainage water within the 100-year floodplain. The study shall incorporate the City of Elk Grove Drainage Capital Improvement Plan; be consistent with the ultimate upstream development in the General Plan, and any specific, area, or master plans; and shall conform to the City of Elk Grove Improvement Standards. The study shall further demonstrate that the project lies outside the 100-year frequency floodplain after improvements are constructed in accordance with the policies in the City Floodplain Management Plan. The study must be completed and stamped by a Professional Engineer and determined by the City to be accurate, and adequate.</p>	1 st Improvement Plan Submittal or Prior to Issuance of Grading Permit(s)	Public Works	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
25.	The Applicant shall submit and obtain City approval of plans and specifications for the construction of public streetlights in accordance with the City of Elk Grove Improvement Standards, including any approved revisions thereto. Streetlight identification numbers as assigned by Public Works during the first plan review shall be added to plans.	Improvement Plans	Public Works	
26.	Identification signage issued by Public Works shall be mounted by the Applicant during streetlight installation in accordance with the approved plans. Alterations to streetlight plans shall be updated on record drawings. The Applicant shall submit, in addition to the complete set of improvement plans, a separate electronic file, in PDF format, of only the streetlight plan sheets and voltage calculations on the record drawing CD. Additionally, the Applicant shall complete and submit the City's streetlight data spreadsheet, with complete data for all streetlights installed, on the record drawing CD.	Prior to Acceptance of Public Improvements	Public Works	
<u>Prior to Issuance of Building Permits</u>				
27.	Architectural review for buildings not included in this project shall complete a Development Plan Review prior to issuance of building permits for the subject building. Pursuant to Section 5 of the Lent Ranch SPA, the Planning Director shall be the approving authority for buildings up to 25,000 square feet and the Planning Commission shall be the approving authority for buildings over 25,000 square feet. Submittal requirements for subsequent Development Plan Review requests are established within Table 5-2 of the Lent Ranch Special Planning Area.	Prior to Issuance of Building Permits for the subject building	Planning	
28.	Address monuments shall show the address range and street name on the monument. (i.e. "100- 300 Promenade Parkway")	Prior to plan approval	Cosumnes Fire Department	
29.	Provide public water services to each building	Prior to plan approval	SCWA	
30.	Prior to the issuance of building permits require water intensive commercial and industrial building permit applicants to conduct a water use efficiency review, which will comply with Lent Ranch SPA Environmental Impact Review	Prior to Issuance of Building Permits for the subject building	SCWA	
31.	Prior to the issuance of building permits require efficient cooling systems, re-circulating pumps for fountains and ponds, and water recycling systems for vehicle washing as a condition of service.	Prior to issuance of building permits.	SCWA	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
32. Outdoor plazas adjacent to future retail buildings (Building 5 & 6 on the September 19, 2008 site plan) shall be reviewed in conjunction with the building's Development Plan Review request and shall be constructed in conjunction with the building. Complete construction of these plazas will be required prior to occupancy of the subject building.	Prior to Issuance of Building Permits for the subject building	Planning	
33. Building elevations visible from the public right-of-way shall be designed in a manner similar to the "front" elevation (the elevation on which tenant entries occur). While tenant entries and other features are not required, these elevations shall incorporate design details to the extent that visual interest is maintained. Utilities and other non-architectural features shall be screened from view to the fullest extent possible.	Prior to Issuance of Building Permits for the subject building	Planning	
34. Improvement plans shall be approved by Public Works prior to 1 st Building Permit. Phasing of public improvements may be approved at the discretion of Public Works.	Prior to Building Permit	Public Works	
35. The Applicant shall install an edge treatment on the southerly boundary of Parcel 134-1010-009 between Kammerer Road and West Stockton Blvd to the satisfaction of Public Works and Planning.	Prior to Building Permit	Public Works/Planning	
36. The Applicant shall install minimum 10 feet of landscaping adjacent to West Stockton Blvd to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
37. The Applicant shall install minimum 10 feet of landscaping adjacent to Promenade Parkway to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
38. The Applicant shall install a minimum 10-foot landscape corridor adjacent to Kammerer Road to the satisfaction of Public Works. Sidewalks shall be within the landscape corridor.	Prior to Building Permit	Public Works	
39. The Applicant shall demolish a minimum of 50 feet of pavement at both ends of the old Kammerer Road segment between new Kammerer Road and West Stockton Blvd. The remaining portion of old Kammerer Road shall be barricaded at both ends. All work shall be completed to the satisfaction of Public Works.	Prior to Building Permit	Public Works	
40. The Applicant shall provide Business Owner's Association bylaws, (CC&R's) which address, at a minimum, common area ownership, maintenance, and joint access, for review and acceptance by Public Works.	Prior to Building Permit	Public Works	
41. Any on-site traffic calming devices and locations shall be approved by Public Works prior to installation, including, but not limited to, speed	Prior to Building Permit	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
bumps.			
<u>Prior to Certificate of Occupancy</u>			
42. Upon completion of the installation of the landscaping project or each project, the project landscape architect/designer shall certify that the installed landscape complies with all City Water Conserving Landscape Requirements per the 2001 code. Certification shall be accomplished by completion of a Certificate of Conformance on a form provided by the City. Failure to submit a complete and accurate Certificate of Conformance to the Planning Department will delay final approval/occupancy of the project.	Prior to Certificate of Occupancy	City's Landscape Architect	
43. Prior to final inspection or occupancy of any structure on the site a Certificate of Conformance for the installed landscaping shall be provided to the City's Landscape Architect for approval.	Prior to Certificate of Occupancy	City's Landscape Architect	

General Information and Compliance Items:

The following items are noted for the applicant's information. These items are required by other local agencies, the City, state or federal agencies, and are not conditions of approval of the project. Applicant should consult the appropriate agency for the specific requirements as the City is not the authority on matters specifically controlled by other agencies.

- a. Dead-end streets in excess of 150 feet require emergency vehicle turn-around. (CSD- Fire)
- b. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code. (CSD-Fire)
- c. All civil engineering plans are required to be submitted in an electronic format. When plans are ready for final signature, it is required that the engineering firm submits an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. The electronic submittal shall include ALL supporting drawing files and ALL drawing files pertaining to the project, including XREFs. The digital submittal shall be ONLY in the following data format listed below: (CSD-Fire)

DWG (Applies to AUOCAD drawing file) any AutoCAD DWG version is accepted

- d. All commercial buildings, in excess of 3,599 square feet shall be equipped with an approved automatic fire sprinkler system. (CSD-Fire)
- e. Commercial developments in excess of 10,000 square feet require looped fire mains of a minimum of ten (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals. This on-site fire main shall be connected to the municipal water main at not less than two (2) points. (CSD-Fire)
- f. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum. (CSD-Fire)
- g. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 5% for concrete. The roadways shall be constructed to a 20-foot minimum width of three (3) inches AC over six (6) inches AB with good drainage. (CSD-Fire)
- h. Fire Department approved traffic pre-emption devices of a type approved by the Cosumnes Fire Department shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Elk Grove Fire Department. (CSD-Fire)
- i. Required fire alarm systems shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center. (CSD-Fire)
- j. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Cosumnes Fire Department and the water purveyor having jurisdiction. (CSD-Fire)
- k. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls tree wells and/or all other traffic calming devices is subject to standards outlined by the Elk Grove Fire Department. All proposed traffic-mitigation plans shall be submitted to the Cosumnes CSD Fire Department for review and approval prior to installation. (CSD- Fire)
- l. An 8-inch collector sewer line that runs along South Promenade Parkway is in design. The sewer line stops at the south end of Promenade Parkway. A new sewer line will be required to extend east along West Stockton Boulevard, up to the east end of property line, to serve lot on east side of this property. (Sacramento Area Sewer District)

- m. Any use of District sewer easement, which is not compatible or interferes with the construction, reconstruction, operation, maintenance, or repair of the District's sanitary sewer(s), shall not be allowed. Each proposed use shall be reviewed and approved in writing by the District Engineer prior to the use of the easement by the Grantor. This includes Landscaping. (Sacramento Area Sewer District)
- n. Developing this property will require the payment of sewer impact fees. Impact fees shall be paid prior to filing and recoding the Final Map or issuance of Building Permits, whichever is first. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information. (Sacramento Area Sewer District)
- o. The project applicant shall pay all applicable City of Elk Grove administered development impact fees in effect at the time of building permit issuance per the *Agreement Regarding Fees, Infrastructure and Eminent Domain Action* entered into as of October 31, 2007 by and between the City of Elk Grove and Feletto Development, LLC. For further information on development related fees, see the 2008 Development Related Fee Booklet at: www.elkgrovecity.org/finance/financial-planning-divisions/df-informtion.htm. (Finance Department)
- p. As more projects in the surrounding area begin to develop, it is important to allow for good, safe, connectivity between and within projects for bicycle and pedestrian use where appropriate. (Sacramento Metropolitan Air Quality Management District)
- q. All design plans shall be prepared by an Architect/Engineer licenses in the State of California and comply with the 2007 California Building Code (CBC), 2007 California Plumbing Code (CPC), 2007 California Mechanical Code, 2007 California Electrical Code (CEC) & 2007 California Energy Code. (Building Department)
- r. Site Plan shall properly delineate all required methods of "accessible paths of travel" from all doors (exits/entrances) all around each building to the "public right of way" by way of the most direct route. Site Plan is required to show an accessible path of travel from the closest public transportation stop, along an accessible sidewalk, onto the site and up and into the building entrance. Note that the accessible route of travel shall be the most practical direct route. If more than one path of travel is provided from more than one public street and transit stop, all routes shall be on an accessible path. 2007 CBC 1114B.1.2 & 1127B.1

In addition, the Site Plan shall properly delineate required methods of "accessible paths of travel" from building to building for all building associated with this site. 2007 CBC 1127B.1

Note: Due to the size and magnitude of the proposed project the aforementioned information shall also be submitted in the form of a separate Master Site Plan submittal the shell structures in order to aid the future Tenant Improvement (T.I) submittal review process. (Building Department)

- s. Separate Site Lighting Plan and associated detail package/plan set shall be submitted as a separate permit. (Building Department)
- t. Separate permit submittals will be required for all exterior building signage and site monument signs. Included is a proposed 70'-0" high pylon sign that will required the following (Building Department):

Design plans shall be prepared by a professional engineer licensed in the State of California and comply with the 2007 California Building Code (CBC), 2007 California Electrical Code (CEC) & 2007California Energy Code.

WIND DESIGN:

Wind Speed (3 second Gust) = 85 mph

Exposure Category = C

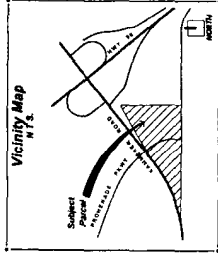
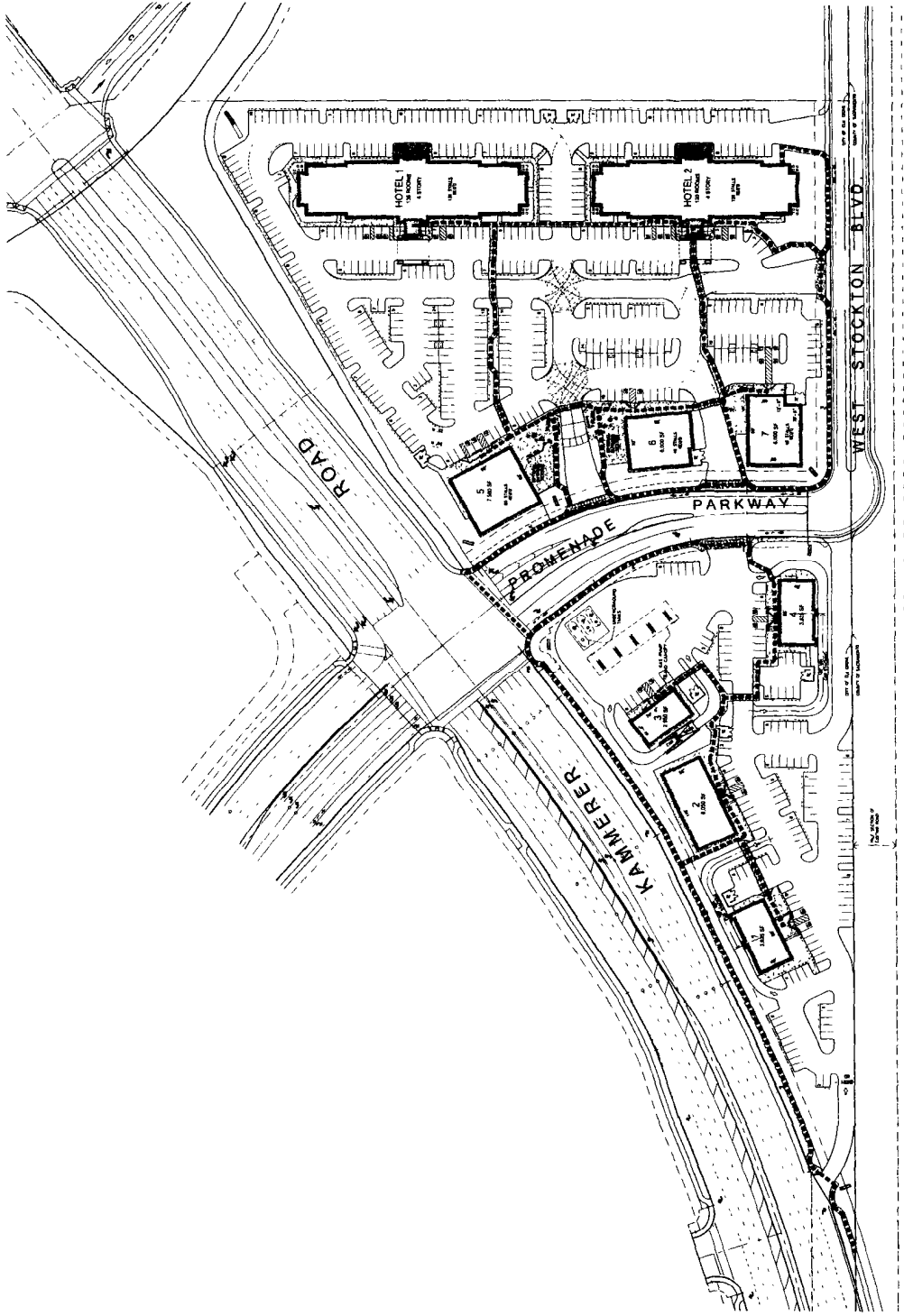
SEISMIC DESIGN

Per the 2007 CBC & ASCE 7-05

- u. Geotechnical Investigation Report will be required along with a "Letter of Compliance" by the geotechnical consultant related to the foundation design. (Building Department)
- v. "Special Inspection" will be required at various stages of construction for variance material installation requirements such as foundation excavation (cast-in-drilled hole (CIDH) piers/caissons), welding, installation of high strength steel bolts, etc. (Building Department)

- w. Prior to the issuance of any building permits for the project, the project developer/owner shall pay Zone 40 development fees applicable at the time of building permit issuance in accordance with Title 4 of Sacramento County Water Agency (SCWA) Code.
- x. Prior to the issuance of any building permits for the project, the project shall conform to the specific provision of the City of Elk Grove Water Conservation Ordinance (formerly Chapter 14.10 of the Sacramento County Code) to the satisfaction of the City's Landscape/Oak Tree Coordinator. (SCWA)
- y. If there are any discrepancies between the approved site plan and the conditions of approval, the conditions of approval shall supersede the approved site plan. (Public Works)
- z. Any improvements, public or private, damaged during construction shall be replaced, by the applicant, in-kind or with new improvement. (Public Works)
- aa. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees by the Applicant. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches. (Public Works)
- bb. Improvement related conditions can be satisfied by completing an approved design, executing an improvement agreement, and providing suitable financial security (e.g. bonds, letter of credit, etc), all to the satisfaction of the City, prior to the implementation timing required by the condition. (Public Works)
- cc. The Applicant shall submit and obtain City approval of plans and specifications for the construction of public improvements and all grading. The drainage system shall be designed in accordance with the accepted Drainage Study to accommodate runoff from the ultimate development and shall meet the City of Elk Grove Improvement Standards, construction standards, storm water design standards, and City of Elk Grove Flood Plain Management Plan and Ordinance in effect at the time of Improvement Plan approval. Street gutter flowlines shall be designed to be above the 10-year frequency flood elevation pursuant to the Floodplain Management Plan. (Public Works)
- dd. The Applicant shall complete grading and construct all on-site and off-site drainage improvements in accordance with the approved Improvement Plans. (Public Works)
- ee. The Applicant shall comply with the regulations of the Federal Emergency Management Agency (FEMA) and the City of Elk Grove Flood Plain Management Ordinance. The lowest finished floor elevation for a habitable building will be a minimum of 1 (one) – foot above the 100-year frequency water level, certified by a registered Civil Engineer or licensed Land Surveyor, and submitted to the City. Amendments and/or revisions of FEMA flood insurance rate maps will be required for all development located in the federal or local flood zone. All FEMA map revisions (both CLOMR and LOMR) must be approved by the City and fully processed through FEMA. Completed revisions shall be placed on file with the City. (Public Works)
- ff. The Applicant shall prepare a Storm Water Pollution and Prevention Plan (SWPPP) to be executed through all phases of grading and project construction. The SWPPP shall incorporate Best Management Practices (BMPs) to ensure that potential water quality impacts during construction phases are minimized. These measures shall be consistent with the City's Improvement Standards and the Land Grading and Erosion Control Ordinance. The SWPPP shall be submitted to the Central Valley Regional Water Quality Control Board for approval and to the City for review. During construction, the applicant shall implement actions and procedures established to reduce the pollutant loadings in storm drain systems. The project applicant shall implement Best Management Practices (BMPs) in accordance with the SWPPP and the City of Elk Grove Improvement Standards. (Public Works)
- gg. In order to mitigate erosion and sediment control problems on the project site, the project shall comply with the City's Land Grading and Erosion Control Ordinance. If the project size is more than one acre, a Notice of Intent (NOI) shall be filed to obtain coverage under the California State Water Resources General Construction Activity Storm Water Permit. Permits are issued by the State Water Resources Control Board, which can provide all applicable information to complete and file the necessary documents. Applicant shall comply with the terms of the general construction permit, the City of Elk Grove Municipal Code, and the NPDES Waste Discharge Requirements for the City of Elk Grove Municipal Storm Sewer Discharges. (Public Works)

ATTACHMENT 2
Project Exhibits



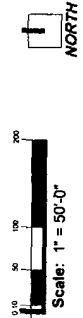
Feleto Property
 Kammerer Road & Parkway
 Elk Grove, California

SITE PLAN
 Pre-application Connectivity

Project Name	SPC.01
Project No.	12-000007
Sheet No.	1 of 1
Date	12/15/2012

RAUSCHENBACH MARVELLI BECKER
 ARCHITECTS & ENGINEERS
 2317 Van Avenue, Suite 100, Elk Grove, CA 95757
 TEL: 916.485.0000 / FAX: 916.485.0001

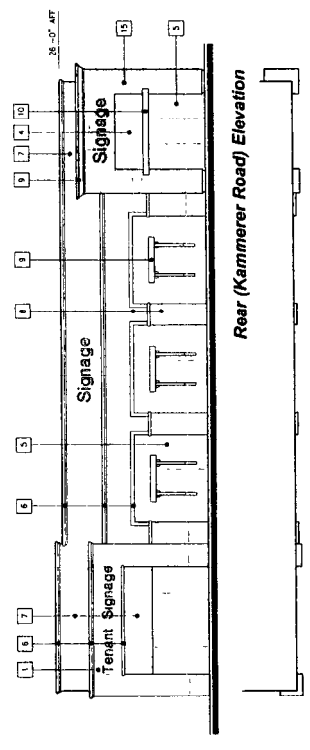
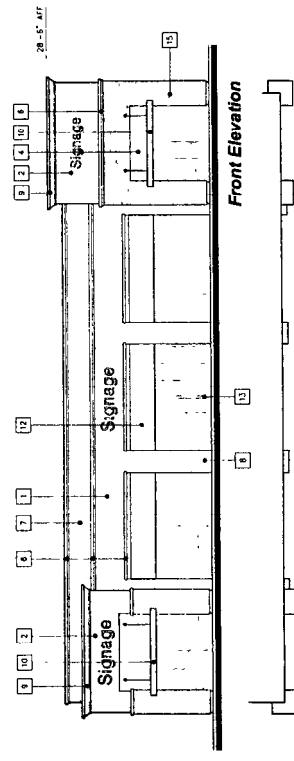
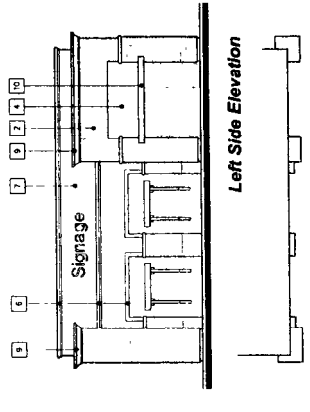
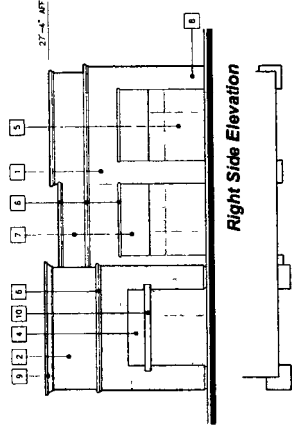
LEGEND
 ■ PAVEMENT PLAN



Feleto Property ■ Kammerer Road & Promenade Parkway
 Elk Grove, California

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2	Consent Plaster	BR 1001 Pearl Beige
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The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof plane, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.



BLDG. 2 CONCEPTUAL ELEVATIONS

Feletto Property
 Kammerer Road & Promenade Parkway
 Elk Grove, California

ELEVATIONS
 Conceptual Bldg. 2

DATE: 01.21.10
 DRAWN BY: [Name]
 CHECKED BY: [Name]

ELV.02

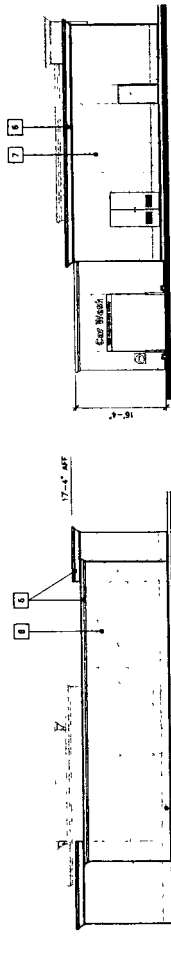
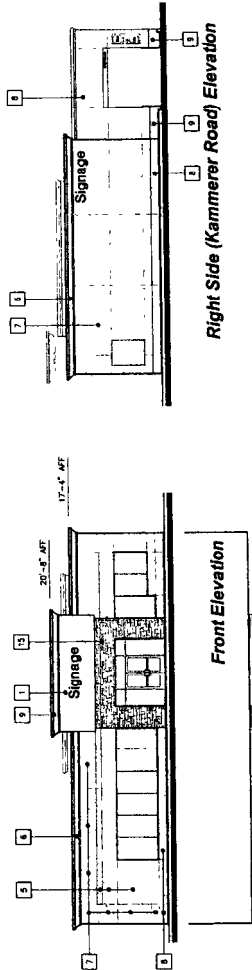
Raischenbach Marzelli Becker
 2577 West Ave., 3rd Floor
 San Francisco, CA 94115

Feletto Property ■ Kammerer Road & Promenade Parkway
 Elk Grove, California

Scale: 1/8" = 1'-0"

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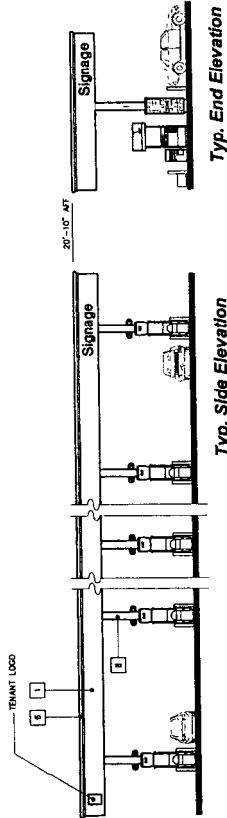
The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof plane, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.



Left Side Elevation

Rear Elevation

BLDG. 3

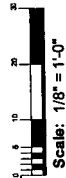


Typ. End Elevation

Typ. Side Elevation

GAS CANOPY

CONCEPTUAL BLDG. 3 & GAS CANOPY ELEVATIONS



Kammerer Road & Promenade Parkway
Elk Grove, California

Feletto Property

Feletto Property
Kammerer Road & Promenade Parkway
Elk Grove, California

ELEVATIONS
Conceptual Bldg. 3

Prepared By: [Redacted]
Checked By: [Redacted]
Date: [Redacted]

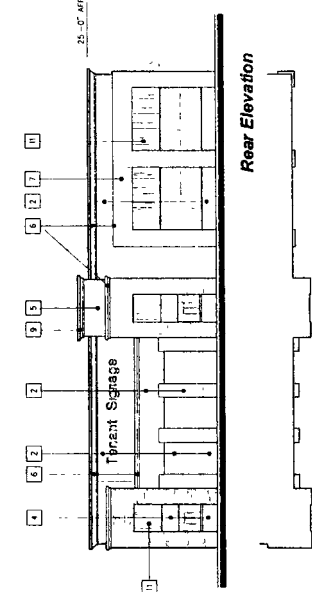
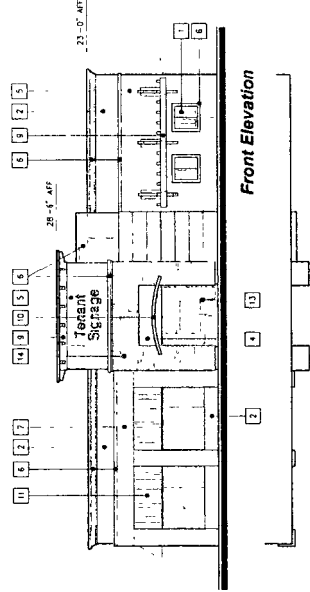
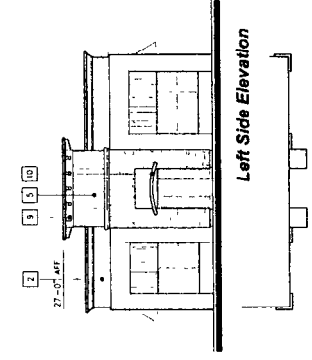
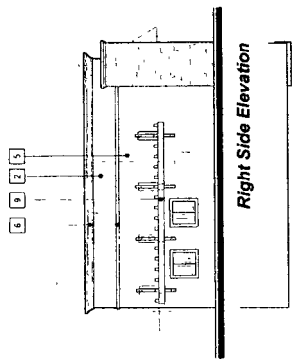
ELV.03

Rauschbach
Marvelli
Becker

1027 West 10th Street
Berkeley, CA 94710
Tel: 415.841.1111
www.rauschbach.com

Material	Manufacturer	Style/Color
1	Cement Plaster	SW 2003 Navy Blue
2	Stainless Steel	SW 616 Regal
3	Cement Plaster	SW 2462 Neutral Clay
4	Cement Plaster	SW 604 Ironside Sage
5	Cement Plaster	SW 646 Galen Tan
6	Cement Plaster	SW 7028 Peony White
7	Cement Plaster	SW 609 Universal Oat
8	Cement Plaster	SW 2462 Neutral Clay
9	Metal Awning	SW 8062 Cobble Brown
10	Metal Awning	SW 7028 Peony White
11	Fabric Awning	Suburban
12	Fabric Awning	Forest Green
13	Stainless Steel	Dark Bronze Anodized
14	Stone Veneer	Blackbrook Public Ledger
15	Stone Veneer	Sierrita Stone
16	Stone Veneer	Sierrita Stone

The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof planes, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.



BLDG. 4 CONCEPTUAL ELEVATIONS

Feletto Property ■ Karmel Road & Promenade Parkway
Elk Grove, California

Scale: 1/8" = 1'-0"

Project: **Feletto Property**
Karmel Road & Promenade Parkway
Elk Grove, California

ELEVATIONS
Conceptual Bldg. 4

Drawn: **ELV.04**
Rauschknecht
Marinelli
Becker

Material	Manufacturer	Style/Color
1	Coronet Plaster	SW 2000 Bone Beige
2	Coronet Plaster	SW 401 Bright
3	Coronet Plaster	SW 2000 French Olive
4	Coronet Plaster	SW 404 South Ridge
5	Coronet Plaster	SW 404 Midway Tan
6	Coronet Plaster	SW 7000 Purely White
7	Coronet Plaster	SW 400 Unbleached Linen
8	Coronet Plaster	SW 2000 Mediterranean Blue
9	Coronet Plaster	SW 402 Cobble Brown
10	Coronet Plaster	SW 2000 Black Fox
11	Paints	Benjamin Moore
12	Paints	Benjamin Moore
13	Paints	Benjamin Moore
14	Paints	Benjamin Moore
15	Paints	Benjamin Moore
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98	Paints	Benjamin Moore
99	Paints	Benjamin Moore
100	Paints	Benjamin Moore

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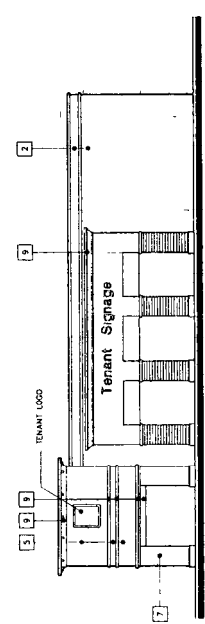
Feletto Property
 Kammerer Road & Promenade Parkway
 Elk Grove, California

ELEVATIONS
 Conceptual Bldg. 5

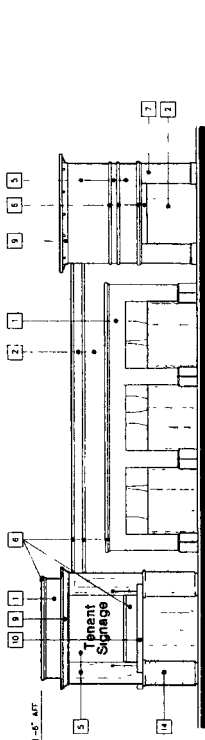
Architect: Feletto Development Company
 PO Box 18022
 Sacramento, CA 95819

ELV.05

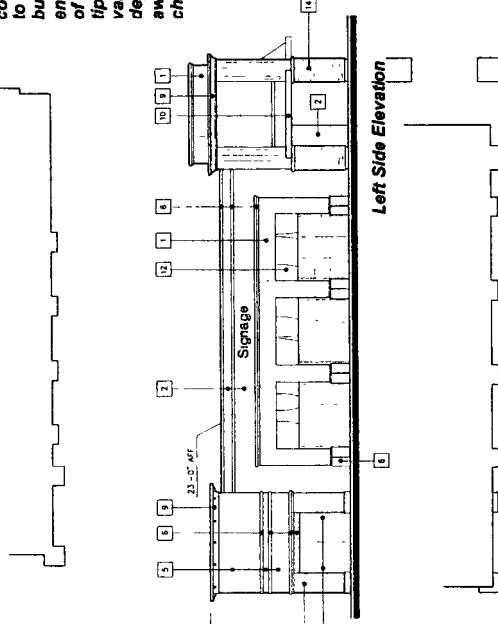
Rauschenbach
 Marcelli
 Becker



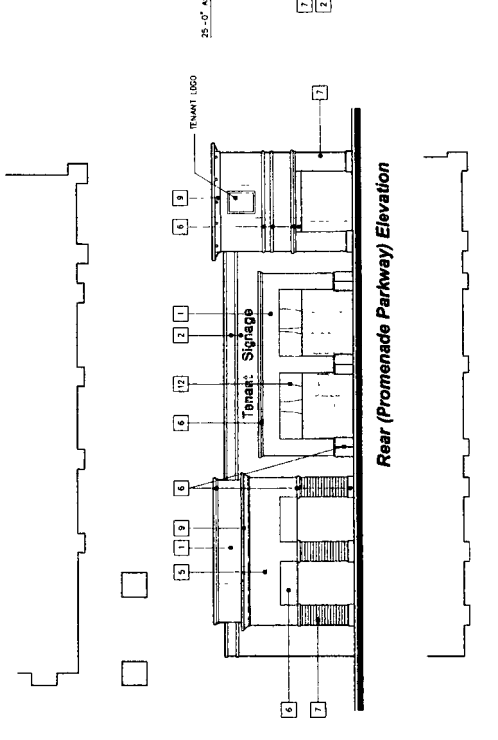
Front Elevation



Right Side Elevation

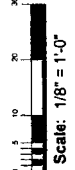


Left Side Elevation



Rear (Promenade Parkway) Elevation

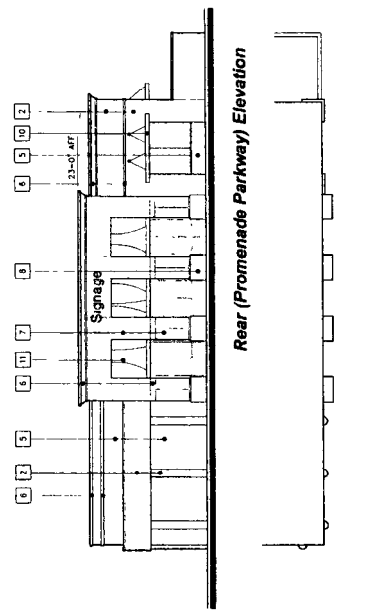
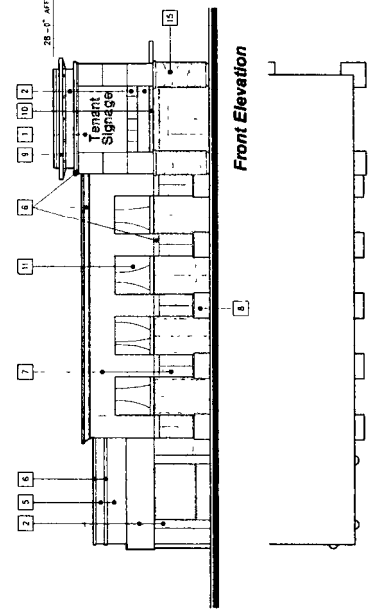
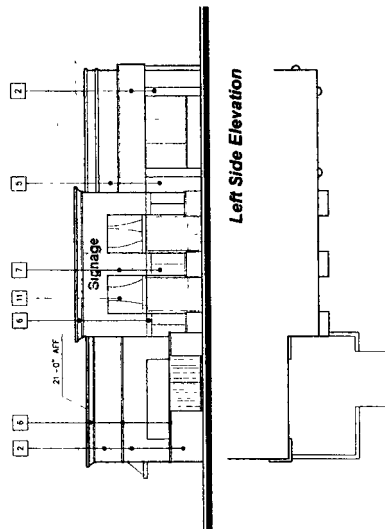
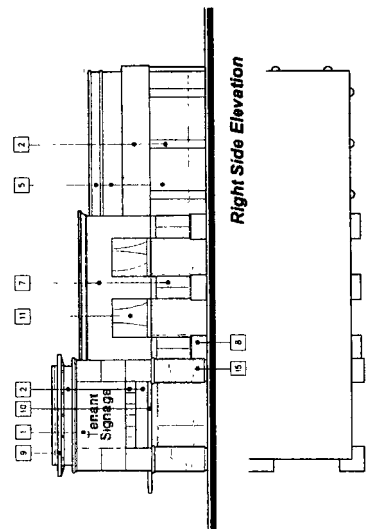
BLDG. 5 CONCEPTUAL ELEVATIONS



Feletto Property ■ Kammerer Road & Promenade Parkway
 Elk Grove, California

Material	Manufacturer	Style/Color
1	Coronet Plaster	BM 5004 Beige Sage
2	Coronet Plaster	BM 5004 Beige Sage
3	Coronet Plaster	BM 5004 Beige Sage
4	Coronet Plaster	BM 5004 Beige Sage
5	Coronet Plaster	BM 5004 Beige Sage
6	Coronet Plaster	BM 5004 Beige Sage
7	Coronet Plaster	BM 5004 Beige Sage
8	Coronet Plaster	BM 5004 Beige Sage
9	Coronet Plaster	BM 5004 Beige Sage
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31	Coronet Plaster	BM 5004 Beige Sage
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97	Coronet Plaster	BM 5004 Beige Sage
98	Coronet Plaster	BM 5004 Beige Sage
99	Coronet Plaster	BM 5004 Beige Sage
100	Coronet Plaster	BM 5004 Beige Sage

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BLDG. 6 CONCEPTUAL ELEVATIONS

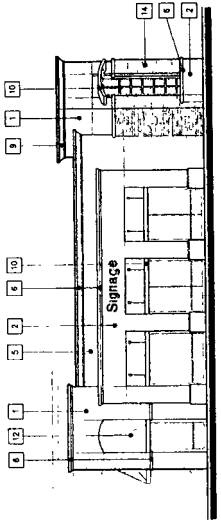
Feletto Property
 Kammner Road & Promenade Parkway
 Elk Grove, California

ELEVATIONS
 Conceptual Bldg. 6

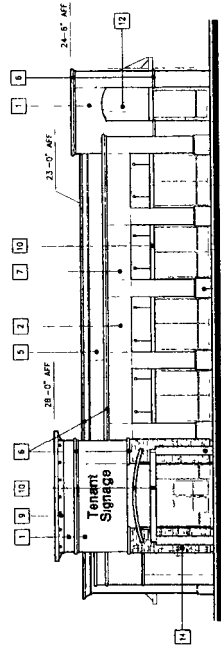
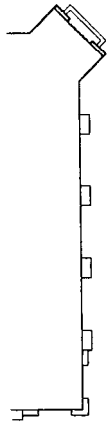
ELV.06
 Raaschenbach
 Marretti
 Becker

Feletto Property ■ Kammner Road & Promenade Parkway
 Elk Grove, California

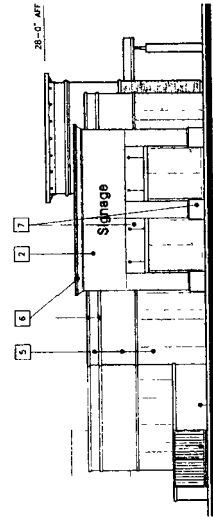
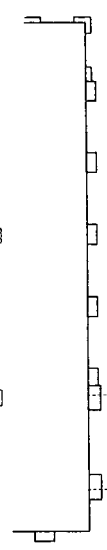
Material	Manufacturer	Style/Color
1	Coronet Plaster	SW 2025 Bone Stone
2	Coronet Plaster	SW 2014 Light
3	Coronet Plaster	SW 2025 Venetian Clay
4	Coronet Plaster	SW 2014 Light Sage
5	Coronet Plaster	SW 2014 Light Tan
6	Coronet Plaster	SW 2025 Purely White
7	Coronet Plaster	SW 2014 Venetian Shell
8	Coronet Plaster	SW 2025 Coastal Brown
9	Coronet Plaster	SW 2025 Coastal Blue
10	Coronet Plaster	SW 2025 Coastal Green
11	Coronet Plaster	SW 2025 Coastal Red
12	Coronet Plaster	SW 2025 Coastal Purple
13	Coronet Plaster	SW 2025 Coastal Yellow
14	Coronet Plaster	SW 2025 Coastal Orange
15	Coronet Plaster	SW 2025 Coastal Pink
16	Coronet Plaster	SW 2025 Coastal Grey
17	Coronet Plaster	SW 2025 Coastal Black
18	Coronet Plaster	SW 2025 Coastal White
19	Coronet Plaster	SW 2025 Coastal Blue-Grey
20	Coronet Plaster	SW 2025 Coastal Green-Grey
21	Coronet Plaster	SW 2025 Coastal Red-Grey
22	Coronet Plaster	SW 2025 Coastal Purple-Grey
23	Coronet Plaster	SW 2025 Coastal Yellow-Grey
24	Coronet Plaster	SW 2025 Coastal Orange-Grey
25	Coronet Plaster	SW 2025 Coastal Pink-Grey
26	Coronet Plaster	SW 2025 Coastal Grey-Grey
27	Coronet Plaster	SW 2025 Coastal Black-Grey
28	Coronet Plaster	SW 2025 Coastal White-Grey
29	Coronet Plaster	SW 2025 Coastal Blue-White
30	Coronet Plaster	SW 2025 Coastal Green-White
31	Coronet Plaster	SW 2025 Coastal Red-White
32	Coronet Plaster	SW 2025 Coastal Purple-White
33	Coronet Plaster	SW 2025 Coastal Yellow-White
34	Coronet Plaster	SW 2025 Coastal Orange-White
35	Coronet Plaster	SW 2025 Coastal Pink-White
36	Coronet Plaster	SW 2025 Coastal Grey-White
37	Coronet Plaster	SW 2025 Coastal Black-White
38	Coronet Plaster	SW 2025 Coastal White-White



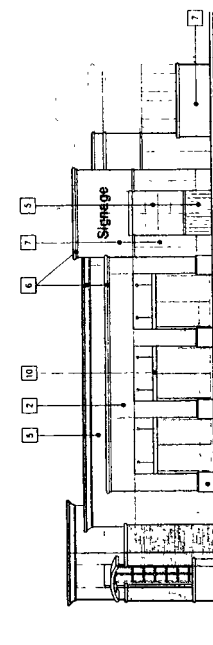
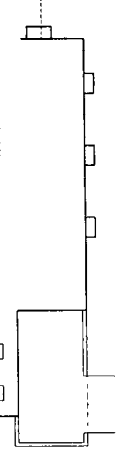
Right (Promenade Pkwy) Elevation



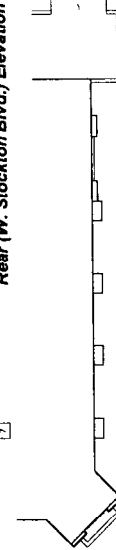
Front Elevation



Left Side Elevation



Rear (W. Stockton Blvd.) Elevation



BLDG. 7 CONCEPTUAL ELEVATIONS

Scale: 3/32" = 1'-0"

Feletto Property
Kammerer Blvd & Promenade Parkway
Elk Grove, California

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Feletto Property
Kammerer Blvd & Promenade Parkway
Elk Grove, California

Architect
Feletto Development Company
PO Box 18022
Sacramento, CA 95815

ELEVATIONS
Conceptual Bldg 7

Sheet No. 01
Date: 11/15/15
Scale: 3/32" = 1'-0"

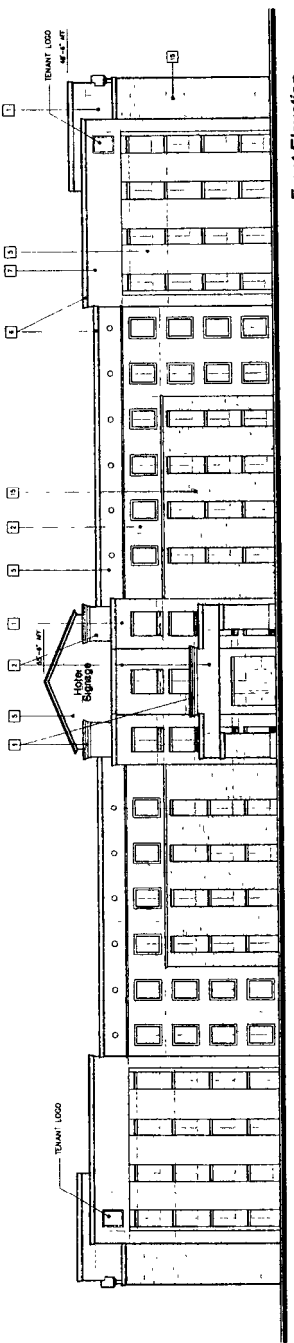
ELV.07

Rauschenbach
Marrilli
Becker

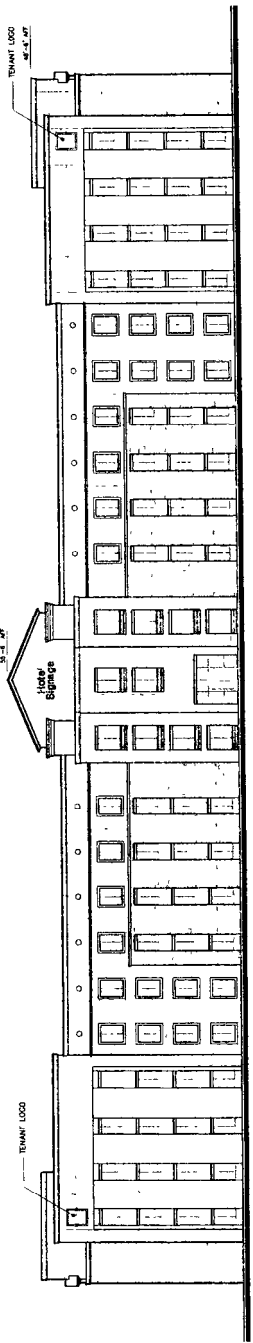
221 Franklin St., Suite 200
San Francisco, CA 94102
www.rauschenbach.com

Material	Manufacturer	Style/Color
1	Cement Plaster	BR 2001 Roman Ridge
2	Cement Plaster	BR 2001 Roman Ridge
3	Cement Plaster	BR 2001 Roman Ridge
4	Cement Plaster	BR 2001 Roman Ridge
5	Cement Plaster	BR 2001 Roman Ridge
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97	Cement Plaster	BR 2001 Roman Ridge
98	Cement Plaster	BR 2001 Roman Ridge
99	Cement Plaster	BR 2001 Roman Ridge
100	Cement Plaster	BR 2001 Roman Ridge

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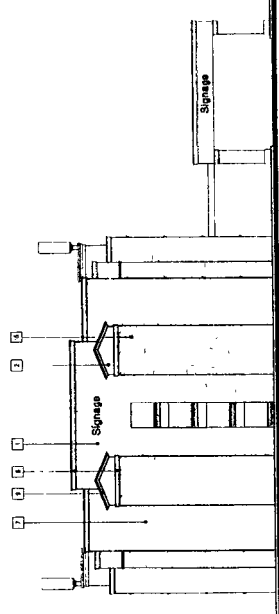


Front Elevation

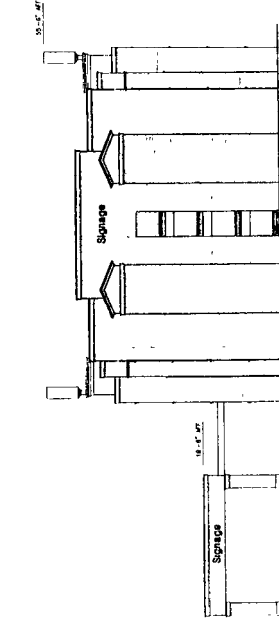


Rear Elevation

AWNINGS / COLOR CALCULATED SIMILAR TO FRONT ELEVATION



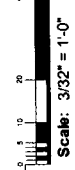
Left Side Elevation



Right Side Elevation

AWNINGS / COLOR CALCULATED SIMILAR TO LEFT SIDE ELEVATION

HOTEL 1 CONCEPTUAL ELEVATIONS



Kammerer Road & Promenade Parkway
Elk Grove, California

Feletto Property

Feletto Property
Kammerer Road & Promenade Parkway
Elk Grove, California

ELEVATIONS
Conceptual Hotel 1

Drawn By: [Name]
Checked By: [Name]
Date: [Date]

ELV.08

Rauschenbach
Marwell
Becker

1277 West Ave., 2nd Floor
Beverly Hills, CA 90210
Tel: 310.274.1111
www.rauschenbach.com

Material	Manufacturer	Style/Color
1	Consolid Plaster	SR 5041 Bone White
2	Consolid Plaster	SR 5041 Eggshell
3	Consolid Plaster	SR 5041 Harvest Olive
4	Consolid Plaster	SR 5041 Ivory White
5	Consolid Plaster	SR 5041 Ivory Tan
6	Consolid Plaster	SR 7008 Poppy White
7	Consolid Plaster	SR 503 Universal Char
8	Consolid Plaster	SR 5041 Sandstone Drift
9	Metal Anodizing	SR 5002 Cobalt Brown
10	Metal Anodizing	SR 7008 Black Plus
11	Paints Anodizing	Black/White
12	Paints Anodizing	Forest Green
13	Paints Anodizing	Dark Bronze Anodized
14	Paints Anodizing	Lighter of Eggshell
15	Stone Veneer	Si Donado Stone
16	Stone Veneer	Si Donado Stone

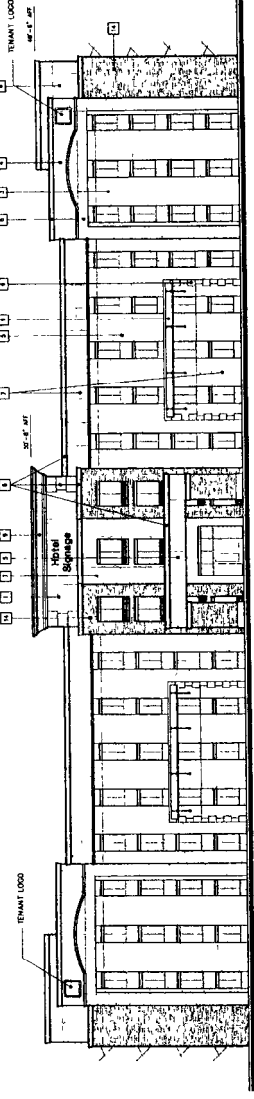
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Feletto Property
 Kammeneer Road & Promenade Parkway
 Elk Grove, California

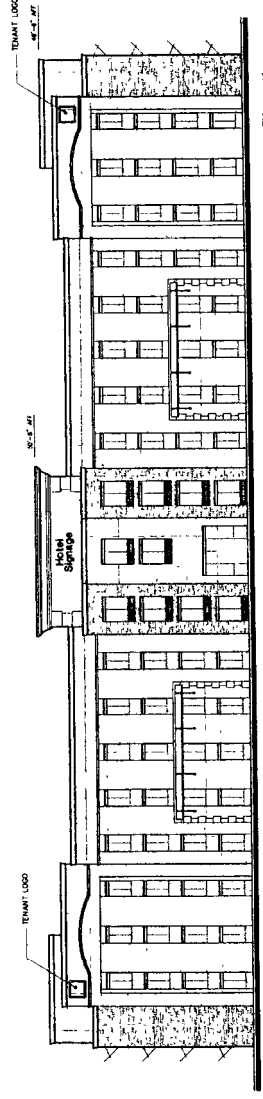
ELEVATIONS
 Conceptual Hotel 2

ELV.09

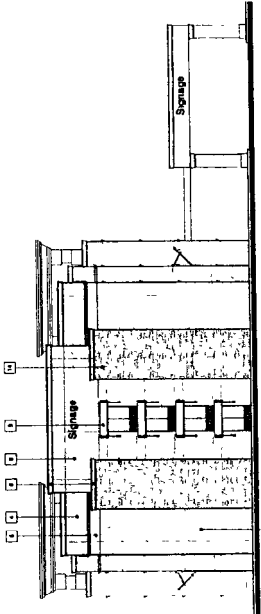
Rauschenbach
 Moravelli
 Becker



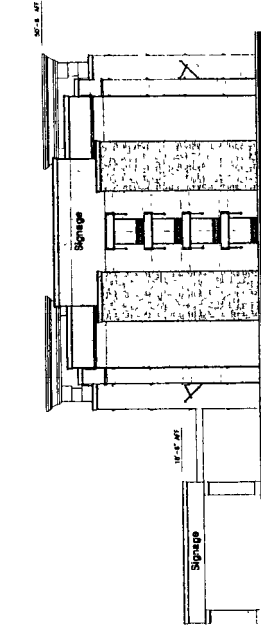
Front Elevation



Rear Elevation



Left Side Elevation



Right Side Elevation

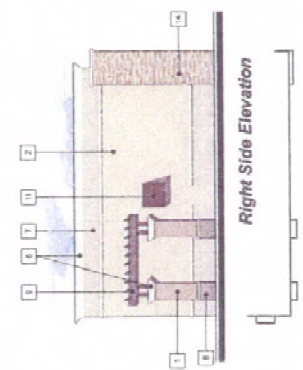
HOTEL 2 CONCEPTUAL ELEVATIONS

Scale: 3/32" = 1'-0"

Feletto Property ■ Kammeneer Road & Promenade Parkway
 Elk Grove, California

Material	Manufacturer	Style/Color
1	Castel Paver	SR 2001 Stone Edge
2	Castel Paver	SR 2001 Edge
3	Castel Paver	SR 2001 Smooth Edge
4	Castel Paver	SR 2001 Smooth Edge
5	Castel Paver	SR 2001 Smooth Edge
6	Castel Paver	SR 2001 Smooth Edge
7	Castel Paver	SR 2001 Smooth Edge
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36	Castel Paver	SR 2001 Smooth Edge
37	Castel Paver	SR 2001 Smooth Edge
38	Castel Paver	SR 2001 Smooth Edge
39	Castel Paver	SR 2001 Smooth Edge
40	Castel Paver	SR 2001 Smooth Edge
41	Castel Paver	SR 2001 Smooth Edge
42	Castel Paver	SR 2001 Smooth Edge
43	Castel Paver	SR 2001 Smooth Edge
44	Castel Paver	SR 2001 Smooth Edge
45	Castel Paver	SR 2001 Smooth Edge
46	Castel Paver	SR 2001 Smooth Edge
47	Castel Paver	SR 2001 Smooth Edge
48	Castel Paver	SR 2001 Smooth Edge
49	Castel Paver	SR 2001 Smooth Edge
50	Castel Paver	SR 2001 Smooth Edge

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BLDG. 1 CONCEPTUAL ELEVATIONS

RECEIVED
 SEP 19 2008
 CITY OF ELK GROVE
 PLANNING

Feletto Property ■ Kammerer Road & Promenade Parkway
 Elk Grove, California

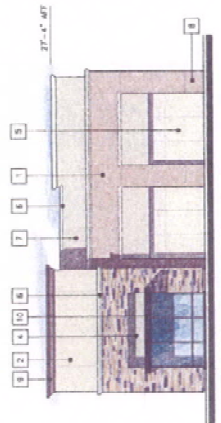
Feletto Property
 Kammerer Road & Promenade Parkway
 Elk Grove, California

ELEVATIONS
 Conceptual Bldg. 1

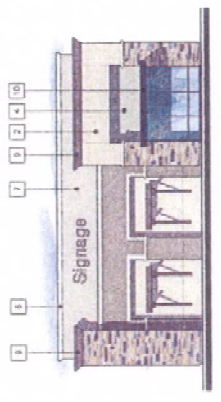
ELV.01C
 Kauschenbach
 Marcelli
 Becker

Material	Manufacturer	Style/Color
1	Concrete Paver	SR 3600 Stone Beige
2	Concrete Paver	SR 3600 Stone Beige
3	Concrete Paver	SR 3600 Stone Beige
4	Concrete Paver	SR 3600 Stone Beige
5	Concrete Paver	SR 3600 Stone Beige
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100	Concrete Paver	SR 3600 Stone Beige

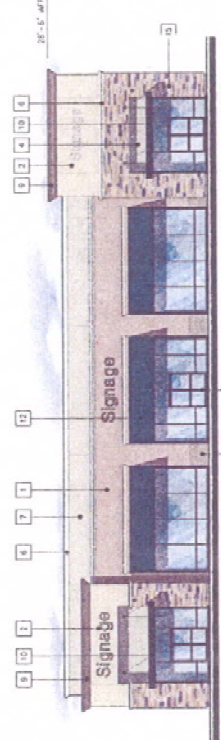
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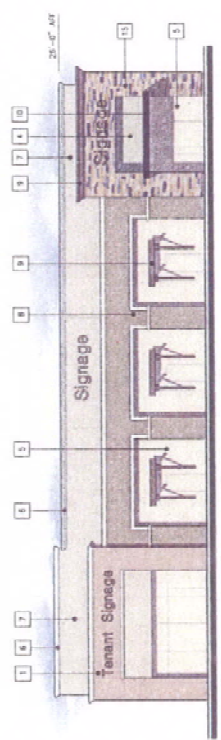
Front Elevation



Right Side Elevation



Rear (Kammerer Road) Elevation



Left Side Elevation

BLDG. 2 CONCEPTUAL ELEVATIONS

ELEVATIONS
Conceptual B39.2

ELV.02C

Project: Kammerer Road & Promenade Parkway, El Monte, California

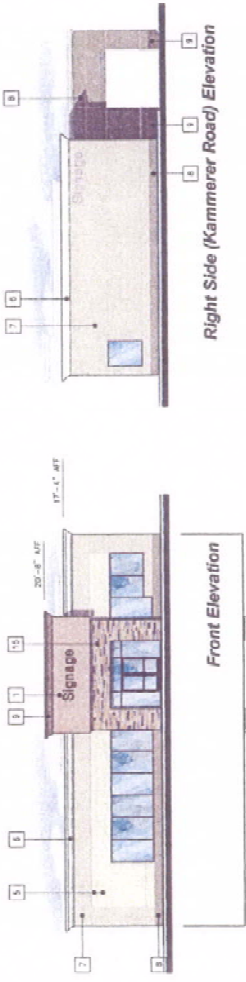
Architect: Feiletto Property

Scale: 1/8" = 1'-0"

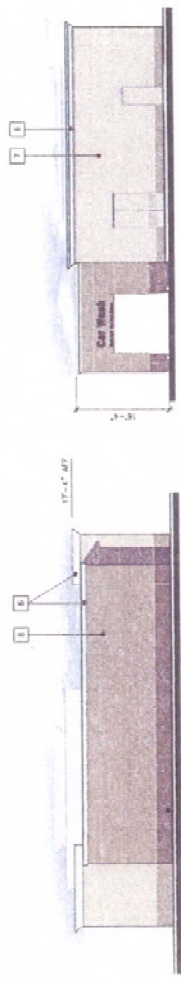
Feiletto Property ■ Kammerer Road & Promenade Parkway
El Monte, California

Material	Manufacturer	Style/Color
1	Current Material	BR 2001 Moss Ridge
2	Current Material	BR 2001 Moss Ridge
3	Current Material	BR 2001 Moss Ridge
4	Current Material	BR 2001 Moss Ridge
5	Current Material	BR 2001 Moss Ridge
6	Current Material	BR 2001 Moss Ridge
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97	Current Material	BR 2001 Moss Ridge
98	Current Material	BR 2001 Moss Ridge
99	Current Material	BR 2001 Moss Ridge
100	Current Material	BR 2001 Moss Ridge

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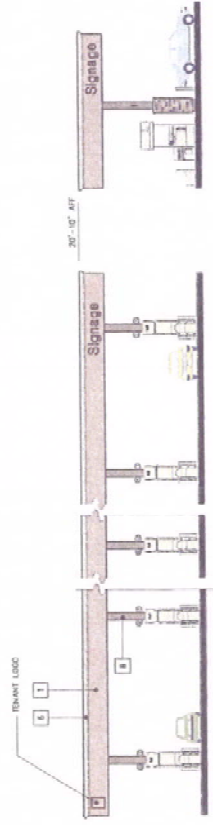
Right Side (Kammerer Road) Elevation



Left Side Elevation

Rear Elevation

BLDG. 3

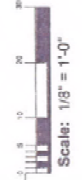


Typ. Side Elevation

GAS CANOPY

Typ. End Elevation

CONCEPTUAL BLDG. 3 & GAS CANOPY ELEVATIONS



Feletto Property ■ Kammerer Road & Promenade Parkway
Elk Grove, California

Feletto Property
Kammerer Road & Promenade Parkway
Elk Grove, California

ELEVATIONS
Conceptual Diag. 3

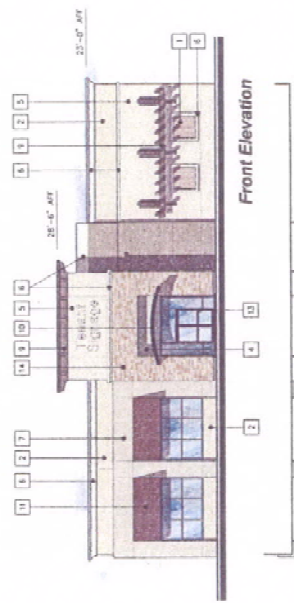
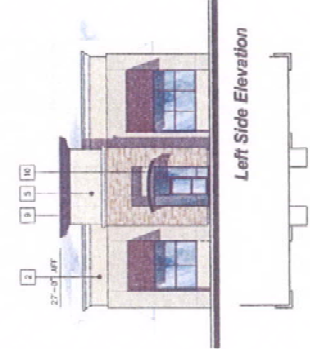
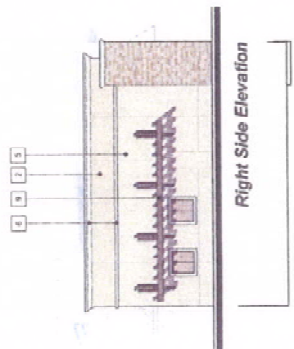
ELV.03C

Rauschenbach Morielli Becker

1271 West 4th Street
Berkeley, CA 94710
Tel: 415.863.1111
Fax: 415.863.1112
www.rmb.com

Material	Manufacturer	Style/Color
1	Castel Paster	BR 1001 Stone Edge
2	Castel Paster	BR 1001 Stone Edge
3	Castel Paster	BR 1001 Stone Edge
4	Castel Paster	BR 1001 Stone Edge
5	Castel Paster	BR 1001 Stone Edge
6	Castel Paster	BR 1001 Stone Edge
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BLDG. 4 CONCEPTUAL ELEVATIONS

Project: **Feletto Property**
 10000 Elmer Road, Elmer, California
 Client: **Feletto Property**
 10000 Elmer Road, Elmer, California
 Architect: **Architectural Company**
 PO Box 1000, Elmer, California, CA 94001

ELEVATIONS
 Conceptual Bldg. 4

Scale: 1/8" = 1'-0"

ELV.04C

Architect: **Rauschenbach Mirretti Becker**
 2277 Main St., Suite 200, San Francisco, CA 94109
 Phone: 415.774.2222
 www.rauschenbach.com

Feletto Property ■ **Kemper Road & Promenade Parkway**
 Elk Grove, California

Material	Manufacturer	Style/Color
1	Concrete Masonry	2004 Stone Edge
2	Concrete Masonry	2004 Stone Edge
3	Concrete Masonry	2004 Stone Edge
4	Concrete Masonry	2004 Stone Edge
5	Concrete Masonry	2004 Stone Edge
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99	Concrete Masonry	2004 Stone Edge
100	Concrete Masonry	2004 Stone Edge

The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof plane, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.



BLDG. 5 CONCEPTUAL ELEVATIONS

Feletto Property ■ Hammer Road & Promenade Parkway Elk Grove, California

Project
Feletto Property
 Hammer Road & Promenade Parkway
 Elk Grove, California

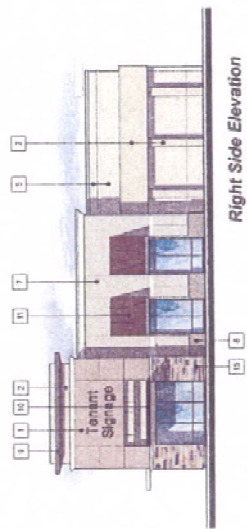
Developer
 Feletto Development Company
 17000 Hamlet Court
 Sacramento, CA 95834

ELEVATIONS
 Conceptual Bldg. 5

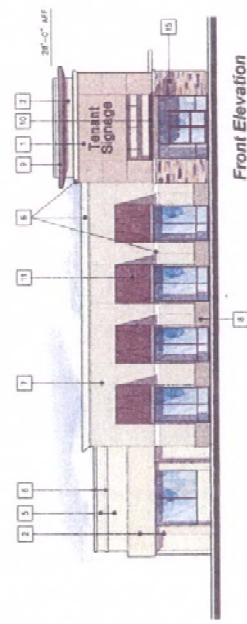
Architect
ELV.05C
 Knauschbach Martelli Becker
 2277 94th Ave, 3rd Floor
 San Francisco, CA 94134
 Tel: 415.433.8888
 www.knauschbach.com

Material	Manufacturer	Style/Color
1	Concrete Paver	BR 2505 River Stone
2	Concrete Paver	BR 2505 Sugar
3	Concrete Paver	BR 2505 Marble Olive
4	Concrete Paver	BR 2505 Marble Sage
5	Concrete Paver	BR 2505 Marble Teal
6	Concrete Paver	BR 7000 Sandy White
7	Concrete Paver	BR 2505 Universal Oat
8	Concrete Paver	BR 2505 Weathered Bronze
9	Multi-Awning	BR 6000 Cobble Brown
10	Multi-Awning	BR 7000 Sand Pine
11	Public Awning	Burgundy
12	Public Awning	Forest Green
13	Public Awning	Concrete or Copal
14	Stone Veneer	Dark Brown Antracite
15	Stone Veneer	Southwest Multi-Ledge
16	Stone Veneer	ES Dorado Stone
17	Stone Veneer	ES Dorado Stone
18	Stone Veneer	ES Dorado Stone

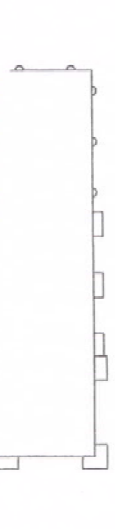
The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof plane, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.



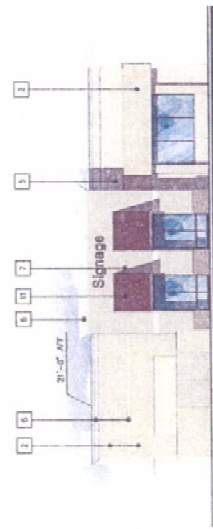
Front Elevation



Rear (Promenade Parkway) Elevation



Right Side Elevation



Left Side Elevation

BLDG. 6 CONCEPTUAL ELEVATIONS

Feletto Property

Kammerer Road & Promenade Parkway
EM GROVE, California

Scale: 1/8" = 1'-0"

Feletto Property
 Commercial Real Estate Firm
 10000 Wilshire Blvd., Suite 1000
 Beverly Hills, CA 90210
 Tel: 310.277.1111
 Fax: 310.277.1112
 www.feletto.com

ELEVATIONS
 Conceptual B39.6

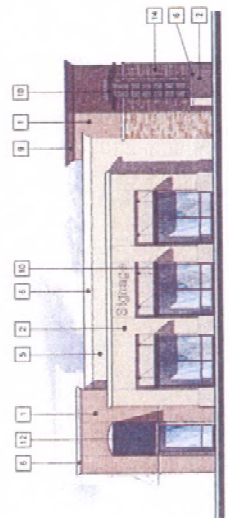
Architect: **Feletto Property**
 Project: **ELV.06C**

Client: **Rauschenbach Marretti Becker**

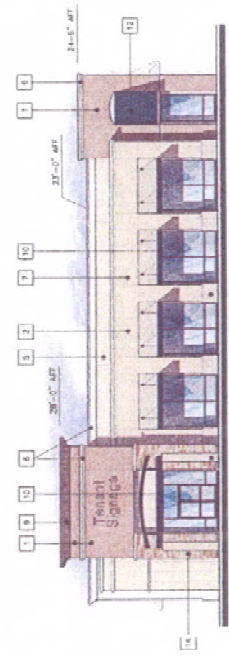
1271 West Ave., Suite 200
 Los Angeles, CA 90024
 Tel: 310.466.8888
 Fax: 310.466.8889
 www.rauschenbachmarretti.com

Material	Manufacturer	Style/Color
1	Concrete	Light Gray
2	Concrete	Light Gray
3	Concrete	Light Gray
4	Concrete	Light Gray
5	Concrete	Light Gray
6	Concrete	Light Gray
7	Concrete	Light Gray
8	Concrete	Light Gray
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99	Concrete	Light Gray
100	Concrete	Light Gray

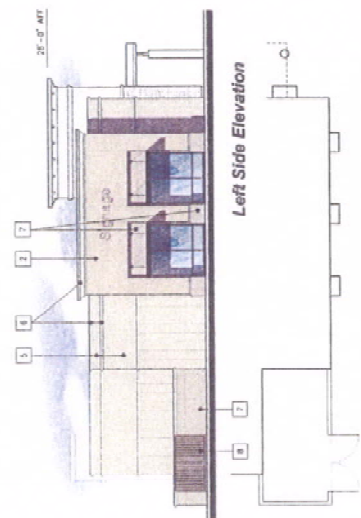
The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof plane, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.



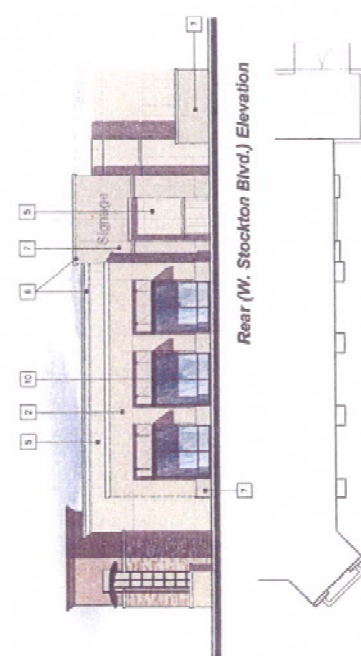
Right (Promenade Pkwy) Elevation



Front Elevation

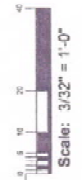


Left Side Elevation



Rear (W. Stockton Blvd.) Elevation

BLDG. 7 CONCEPTUAL ELEVATIONS



Feletto Property ■ Kamenover Road & Promenade Parkway
 Elk Grove, California

Project
Feletto Property
 Kamenover Parkway
 Elk Grove, California

Architect
 Feletto Development Company
 PO Box 10025
 Sacramento, CA 95814

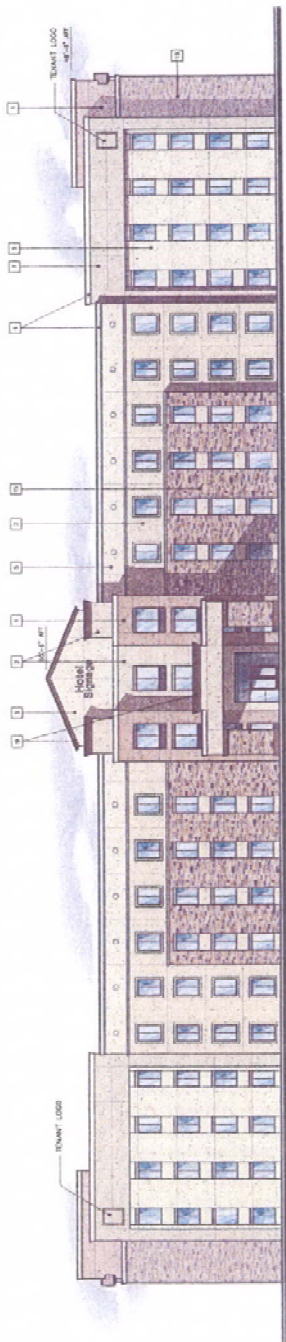
ELEVATIONS
 Conceptual Bldg 7

Sheet
ELV.07C

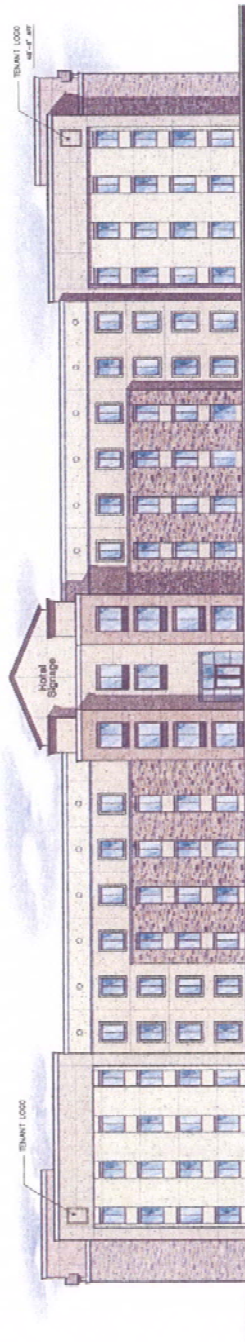
Revised
 11/11/18
 11/11/18
 11/11/18

Prepared by
 Ronschenbach
 Marcelli
 Becker

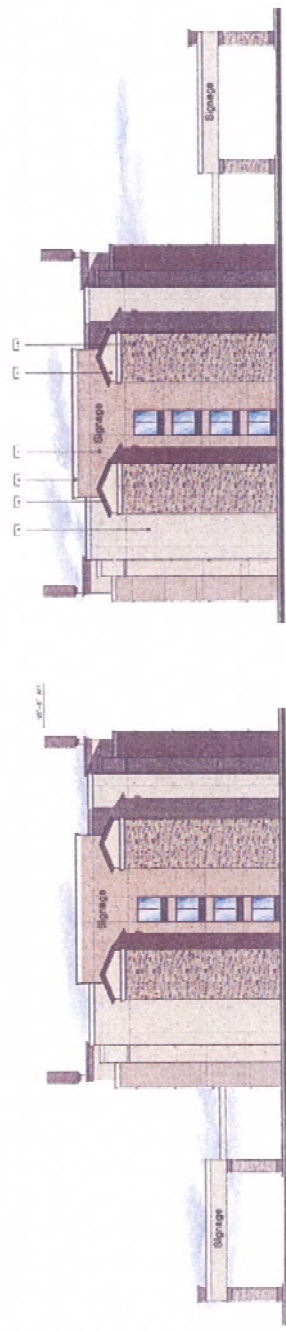
1077 West 10th Street
 Sacramento, CA 95811
 916.486.8888
 www.feletto.com



Front Elevation



Rear Elevation



Right Side Elevation

Left Side Elevation

HOTEL 1 CONCEPTUAL ELEVATIONS

Kearney Road & Promenade Parkway
EW Grove, California

Feletto Property

Scale: 3/32" = 1'-0"

Material	Manufacturer	Style/Color
1	Concrete Panel	SP 2400 Iron Edge
2	Concrete Panel	SP 2410 Regal
3	Concrete Panel	SP 2500 Nevada One
4	Concrete Panel	SP 2410 Iron Edge
5	Concrete Panel	SP 2410 Sable Tan
6	Concrete Panel	SP 2020 Peppy White
7	Concrete Panel	SP 2410 Universal Grid
8	Concrete Panel	SP 2410 Weathered Stone
9	Concrete Panel	SP 2410 Cobble Stone
10	Metal Awning	SP 7000 Black Flat
11	Metal Awning	Burgundy
12	Metal Awning	Forest Green
13	Metal Awning	Dark Brown Anodized
14	Stone Veneer	Sanctus Pacific Lodge
15	Stone Veneer	B. Donato Stone

The exterior elevations shown here are conceptual in nature and are not intended to restrict other designs that may suit the building occupant better. They are presented here to give an example of the extent of articulation expected. The use of multiple colors, different materials and textures, variation in horizontal roof plane, varying depth at building face, maximized glazing, awnings, trellises, etc. all serve to add character and interest to the building facade.

Feletto Property
Kearney Road & Promenade Parkway
EW Grove, California

ELEVATIONS
Conceptual Hotel 1

ELV.08C

Prepared by: **Rauschenbach Marroth Becker**
2277 West 10th Street
San Francisco, CA 94115
415.774.8888
www.rauschenbach.com



View of Plaza Shown with Optional Restaurant Outdoor Seating

Feletto Property ■ Kennamur Road and Provenance Parkway
Elk Grove, California

Project
Feletto Property
Kennamur Road and Provenance Parkway
Elk Grove, California

Developer
Kensington Management Company
PO Box 1000
Bourbonnais, California 95819

Plaza View
Paved/Optional Proposals

Job Number	02-100
Drawn By	TRB/LLC
Checked	

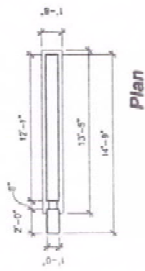
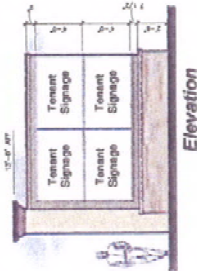
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ELV.11

Revised/Revised
March
2008

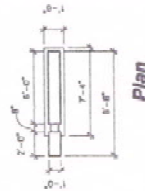
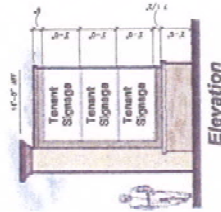
1277 West Ave., 1, 2nd Floor
Elk Grove, California 95759
Tel: 916.486.8800
www.trb.com

MATERIALS SCHEDULE

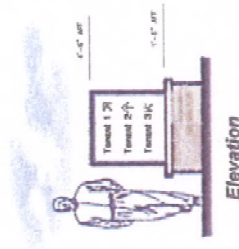
- SIGN BASES**
CORNICES & TRIMS SHALL BE FABRICATED ALUMINUM TEXTURED AND PAINTED TO MATCH BUILDING COLORS. STONE VENEER TO MATCH CENTER.
- COLUMNS & CORNICES**
COLUMNS AND CORNICES SHALL BE FABRICATED ALUMINUM TEXTURED AND PAINTED TO MATCH BUILDING COLORS.
- RECESSED BACKGROUND & TRIM**
RECESSED BACKGROUND & TRIM SHALL BE FABRICATED ALUMINUM TEXTURED AND PAINTED TO MATCH BUILDING COLORS.
- TENANT CABINET**
TENANT PANELS SHALL BE FABRICATED ALUMINUM WITH ROUTED AREAS FOR TENANT COPY/LOGOS. COPY/LOGOS SHALL BE PUSH-THRU. FLUSH COLORS TO BE VERIFIED AS PER TENANT SPECIFICATIONS. DIMENSIONAL GRAPHIC DIVIDERS TO BE FABRICATED ALUMINUM TUBE. ALL FACES, RETURNS AND DIVIDERS TO BE TEXTURED AND PAINTED TO MATCH BUILDING.



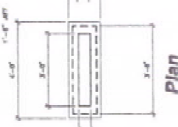
MONUMENT SIGN A
SCALE: 1/4" = 1'-0"



MONUMENT SIGN B



NOTE:
Sign may be internally or externally illuminated.



OPTIONAL DIRECTIONAL SIGN

Signage Guidelines

Sheet

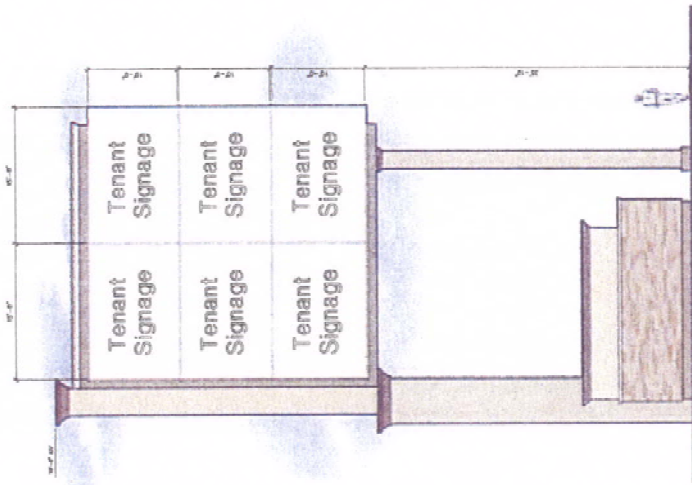
S-2

**Rauschenbach
Marcelli
Becker**

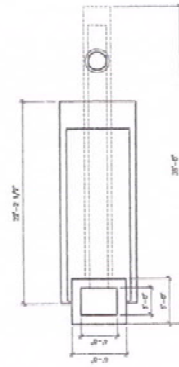
2277 West Ave., 3rd Floor
Sacramento, CA 95825
P 916.486.8500
F 916.486.8599
www.rmbarchitects.com

MATERIALS SCHEDULE

- SIGN BASES
CORNICES & TRIMS SHALL BE FABRICATED ALUMINUM TEXTURED AND PAINTED TO MATCH BUILDING COLORS. STONE VENEER TO MATCH CENTER.
- COLUMNS & CORNICES
COLUMNS AND CORNICES SHALL BE FABRICATED ALUMINUM TEXTURED AND PAINTED TO MATCH BUILDING COLORS.
- RECESSED BACKGROUND
RECESSED BACKGROUND & TRIM SHALL BE FABRICATED ALUMINUM TEXTURED AND PAINTED TO MATCH BUILDING COLORS.
- TENANT CABINET
TENANT PANELS SHALL BE FABRICATED ALUMINUM WITH ROUTED AREAS FOR TENANT COPYLOGOS. COPYLOGOS SHALL BE PUSH-THRU. FLUSH COLORS TO BE VERIFIED AS PER TENANT SPECIFICATIONS. DIMENSIONAL GRAPHIC DIVIDERS TO BE FABRICATED ALUMINUM TUBE. ALL FACES, RETURNS AND DIVIDERS TO BE TEXTURED AND PAINTED TO MATCH BUILDING.



Elevation



Plan

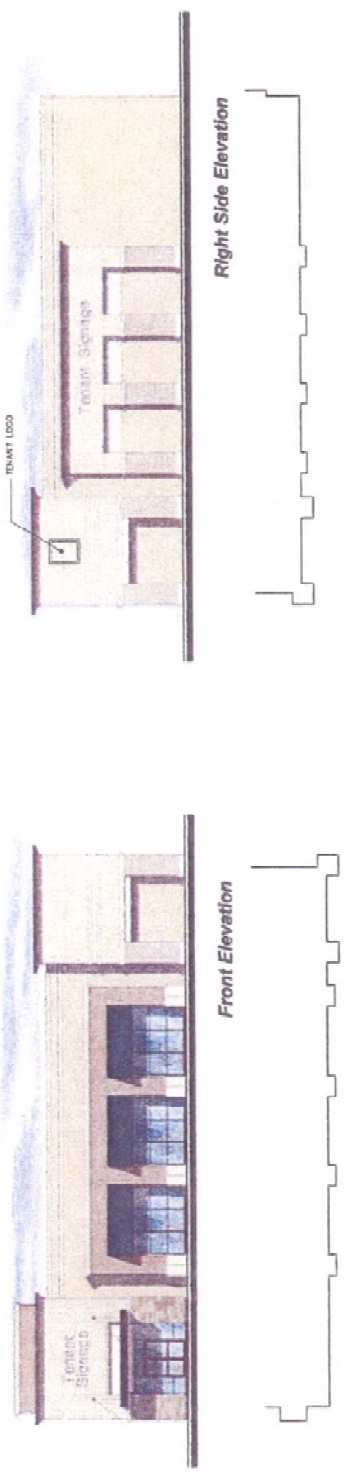
FREEWAY SIGN

Signage Guidelines

Sheet: **S-3**

**Rauscherbach
Marcelli
Becker**

2277 West Ave - 2nd Floor
Sacramento, CA 95825
P 916.488.8500
F 916.488.8598
www.mbarcitects.com



Front Elevation



Right Side Elevation



Rear (Promenade Parkway) Elevation



Left Side Elevation

BLDG. 5

Building signage may be placed on all four sides, but will otherwise be consistent with the project's vested zoning code; however applicants will have the ability to request additional square-footage and minor deviations at the development plan review. Signage style, location and size are shown here for illustrative purposes only.

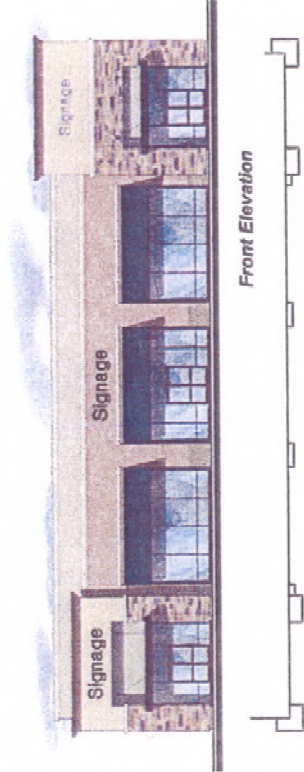
Signage Guidelines

Sheet

S-4

**Rauschenbach
Marcelli
Becker**
ARCHITECTS

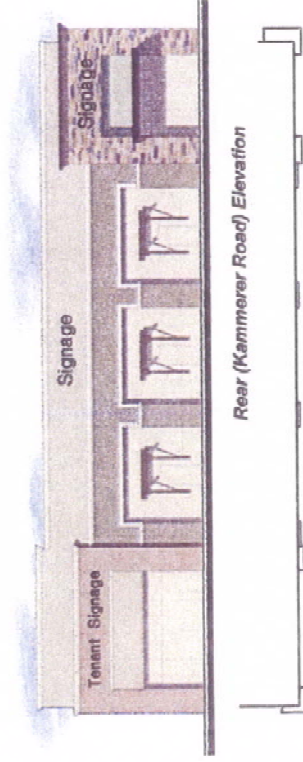
2377 Watt Ave - 2nd Floor
Sacramento, CA 95825 P 916.488.8500 F 916.488.8558
www.rauschenbach.com



Front Elevation



Right Side Elevation



Rear (Kammerer Road) Elevation



Left Side Elevation

BLDG. 2

Building signage may be placed on all four sides, but will otherwise be consistent with the project's vested zoning code; however applicants will have the ability to request additional square-footage and minor deviations at the development plan review. Signage style, location and size are shown here for illustrative purposes only.

Signage Guidelines

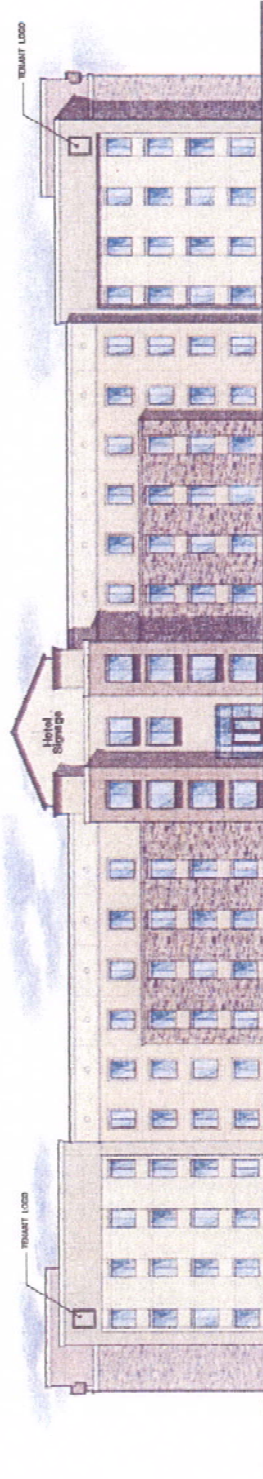
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**Rauschenbach
Marcelli
Becker**
ARCHITECTS

2277 West Ave - 2nd Floor
Sacramento, CA 95825 P 916.486.8200
F 916.486.8566
www.rmbarchitects.com



Front Elevation

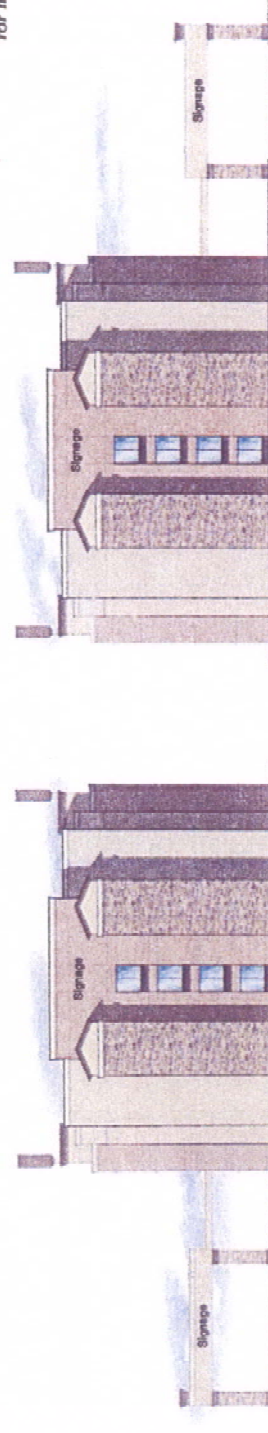


Rear Elevation

RENDERING / COLOR ONLY - NOT SUBJECT TO PERMITS

Building signage may be placed on all four sides, but will otherwise be consistent with the project's vested zoning code; however applicants will have the ability to request additional square-footage and minor deviations at the development plan review.

Signage style, location and size are shown here for illustrative purposes only.



Right Side Elevation

Left Side Elevation

HOTEL 1

Signage Guidelines

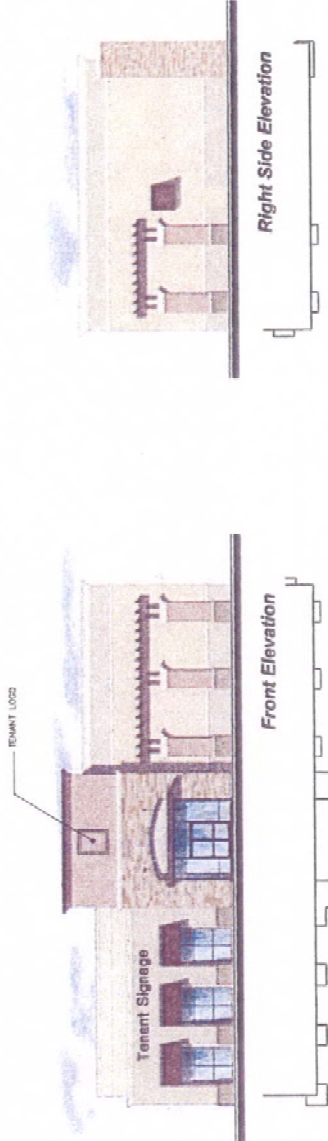
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S-6

**Rauschenbach
Marrelli
Becker**

ARCHITECTS

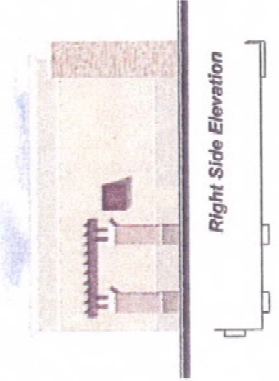
227 West Ave - 2nd Floor P 916.488.8800
Sacramento, CA 95825 F 916.488.8556
www.rauschenbach.com



Front Elevation



Rear (Kammerer Road) Elevation



Right Side Elevation



Left Side Elevation

BLDG. 1

Building signage may be placed on all four sides, but will otherwise be consistent with the project's vested zoning code; however applicants will have the ability to request additional square-footage and minor deviations at the development plan review. Signage style, location and size are shown here for illustrative purposes only.

Signage Guidelines

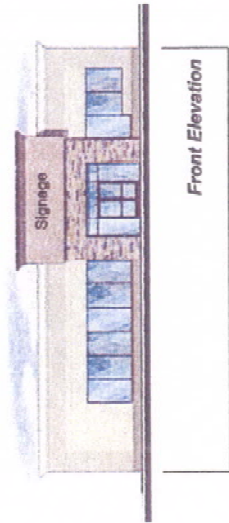
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S-7

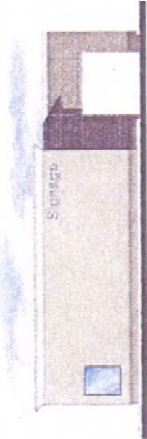
**Rauschenbach
Marzelli
Becker**

ARCHITECTS

2277 Watt Ave - 2nd Floor
Sacramento, CA 95825
P 916.484.8200
F 916.484.8555
www.rauschentb.com



Front Elevation



Right Side (Kammerer Road) Elevation

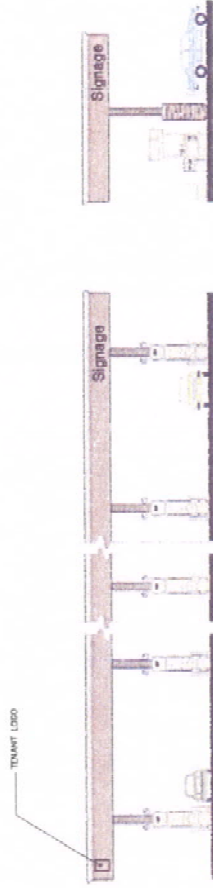


Rear Elevation



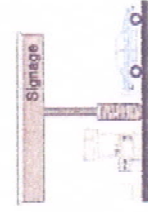
Left Side Elevation

BLDG. 3



Typ. Side Elevation

GAS CANOPY



Typ. End Elevation

Building signage may be placed on all four sides, but will otherwise be consistent with the project's vested zoning code; however applicants will have the ability to request additional square-footage and minor deviations at the development plan review.

Signage style, location and size are shown here for illustrative purposes only.

Signage Guidelines

Sheet

S-8

**Rauschenbach
Marrelli
Becker**

ARCHITECTS

2277 West Ave - 2nd Floor
Sacramento, CA 95825

P 916.488.8500
F 916.488.8558

www.rauschenbach.com

ATTACHMENT 3

Planning Commission Staff Report dated November 6, 2008



Planning Commission Staff Report

November 6, 2008

Project: Feletto Property District F- District Development Plan
File: EG-08-044
Request: District Development Plan
Location: Southwest and Southeast corners of Kammerer Road and South Promenade Parkway
APN: 134-1010-009 & 134-1010-010
Planner: Kyra O'Malley
App. Accepted: June 25, 2008

Property Owner/Applicant

Feletto Development, LLC
 Martin Feletto
 PO Box 19928
 Sacramento, CA 95819

Agent

Gillum Consulting, Inc
 Jim Gillum
 1632 Weinreich Court
 Folsom, CA 95630

Staff Recommendation

That the Planning Commission recommends approval to the City Council for the Feletto Property District Development Plan subject to the findings presented in this report and the attached Conditions of Approval.

Project Description

The entitlement requested by the applicant consists of the following:

1. **District Development Plan** for a 12.8 acre commercial district within the Lent Ranch Special Planning Area District F. The District Development Plan includes review of conceptual development plans: conceptual site plan, landscape plan, sign program, typical amenities, and public spaces, and provides architectural concepts, which will be used for future Development Plan Review entitlements.

Background

The Lent Ranch Special Planning Area (SPA) was approved by the City Council in June 2001. The SPA utilizes five different land use types to divide the 295 acre site into 8 commercial districts. The five land use types include Regional Mall, Community Commercial, Office and Entertainment, Visitor Commercial, and Multi-Family Residential (Figure 2).

Project Setting

The project site is located on the southwest and southeast corners of Kammerer Road and South Promenade Parkway within the Lent Ranch Special Planning Area, south of the Elk Grove Promenade Mall. Table 1 identifies the existing uses, General Plan designation, and Zoning designations for the subject property and neighboring properties.

Table 1: Land Use Designations and Uses

	Existing Uses	General Plan	Zoning
Project Site	Vacant Land	Commercial	Lent Ranch SPA
North	Vacant Land/New Construction	Commercial	Lent Ranch SPA
South	Agriculture Land	Sacramento County	Sacramento County
East	Industrial Buildings	Heavy Industry	M-2
West	Vacant Land	Commercial	Lent Ranch SPA

Figure 1: Vicinity Map

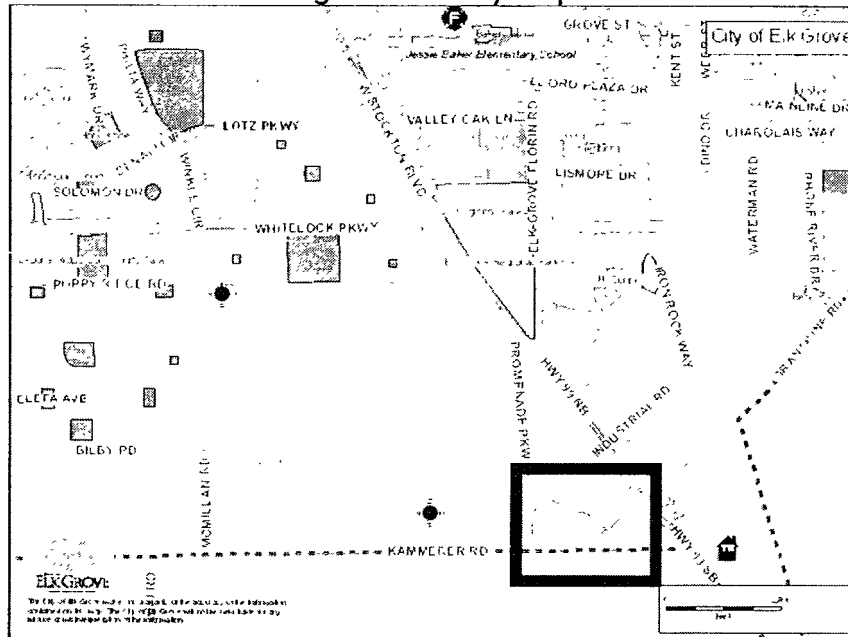
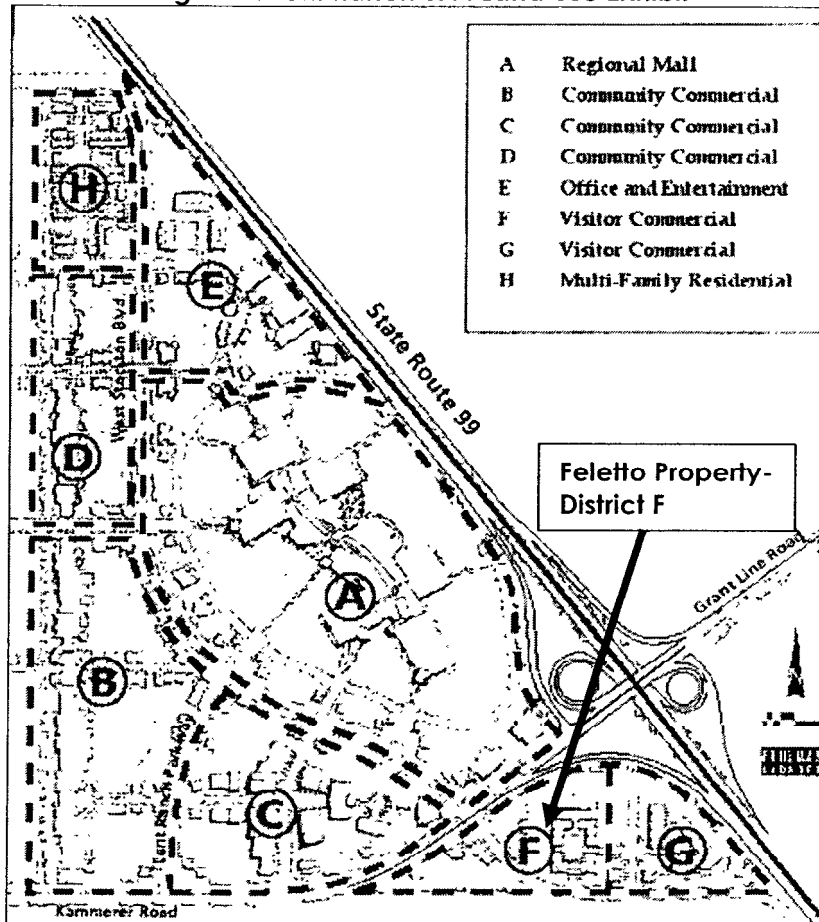


Figure 2: Lent Ranch SPA Land Use Exhibit



Analysis

General Plan

The proposed Feletto Property project has been reviewed for consistency with all applicable General Plan goals and policies. The General Plan encourages land use patterns that provide residents and the region the opportunities to shop, eat, and entertain in Elk Grove. The proposed project is planned to be a gateway to all the surrounding communities as well as the travelling public. The project will accommodate a variety of uses that will provide jobs as well as enhance the city's economic base through designing a gateway as a positive environment and a desirable place to establish businesses as what follows with the Economic and Land Use Element.

The Lent Ranch Special Planning Area

The table below provides a summary of the proposed Feletto Property and it's consistency with the requirements of the Lent Ranch SPA.

Figure 3: Consistency with the Lent Ranch SPA

Section	Proposed Project	Consistent?	
1.3	Goals and Objectives (excerpt): <ul style="list-style-type: none"> • Commercial of adequate size and land use mix to maximize opportunities • Reduce overall miles traveled by residents • High quality commercial that creates a sense of place and social interaction • Safe and entertaining gathering space for residents • Visually pleasing urban project, enhanced aesthetic and visual quality • Orderly development • Expanded economic base • Provide employment opportunities for City residents. 	This proposed project within the visitor commercial district of the SPA is designed to serve as a gateway for the surrounding community as well as the travelling public. A mix of commercial buildings with outdoor plazas will create a sense of place, social interaction, and a mix of uses. The proposed project is expected to create a unique aesthetic experience through the use of high quality architecture, materials, and landscaping.	Yes
3.2	Visitor Commercial Description <ul style="list-style-type: none"> • Intent: to serve the surrounding community as well as the travelling public. • Provide a "gateway" from HWY 99 into the Lent Ranch and to benefit from the freeway visibility and access. 	As proposed, the Feletto Property project will provide approximately 77, 500 square feet of retail, hotel, and restaurants uses within the 12.8 acre District. Potential future uses within the site are established within Section 4 of the Lent Ranch SPA and could include retail, restaurants, as well as other service stations, automobile rental.	Yes
3.3 – 3.9	These sections of the SPA discuss vehicle, pedestrian, bicycle, circulation, open public spaces, utilities, public services, financing,	Land owners of property within the SPA and signatories to the Lent Ranch Development Agreement are providing improvements to	Yes

	Section	Proposed Project	Consistent?
	and project timing on a SPA wide level.	roadways and other infrastructure required as required by the Lent Ranch SPA. All infrastructures will be constructed to the satisfaction of all responsible agencies.	
4.4	This section of the SPA provides permitted use information specific to the Visitor Commercial	The applicant is aware of the permitted uses section. Tenants will be evaluated for compliance with this section with review of Development Plan Review as well as building permits for tenant improvements.	Yes
5.1.2	This section of the SPA provides the process of review for the District Development Plans (DDP)	The process of review for this project is consistent with the SPA.	Yes
8	This section of the SPA provides setbacks specific to projects within the SPA.	As described in detail below, the proposed project meets the setbacks specific to SPA.	Yes
9	This section of the SPA establishes height restrictions for buildings within the Visitor Commercial District of the SPA.	As described in detail below, the proposed project meets the SPA established height restrictions.	Yes
10	This section of the SPA provides design standards for the roadways serving Lent Ranch.	The Lent Ranch major roads have been previously approved and are designed consistent with this section of the SPA to the satisfaction of Public Works.	Yes
11.5	This section of the SPA establishes the general landscape concepts for the Lent Ranch area. Landscaping specific to the Visitor Commercial is included in this section.	The project incorporates landscaping throughout the site including through the buildings, within pedestrian pathways through the parking areas. The landscape plans incorporate some of the plant species listed within this section of the SPA.	Yes
11.7	This section of the SPA establishes landscaping standards specific to parking areas.	The preliminary landscape plans for the project indicate varied tree and plant species throughout the parking areas and buildings. Approximately 60% of the parking lot is shaded with landscape.	Yes
12.1	This section of the SPA establishes parking ratios for the commercial uses, restaurants, and hotels.	As described in detail below, the proposed project meets the SPA established parking ratios.	Yes
13	This section of the SPA establishes maximum floor area ratios for commercial uses. FAR for commercial is a maximum of 0.3 of the total lot area.	The proposed Feletto Property project has an average floor area ratio of 0.10, consistent with the SPA standards.	Yes

District Development Plan

Per Section 5 of the Lent Ranch Special Planning Area (SPA), each district is required to obtain approval of a District Development Plan as the Stage 2 entitlement for projects within the SPA. The District Development Plan is intended to establish an overall concept plan for the individual District including review of a conceptual site plan, conceptual architecture, landscaping, setbacks, signage, and other amenities to be developed as a cohesive project. The Feletto Property project encompasses SPA District F (Visitor Commercial). This district is intended to serve the surrounding community as well as the traveling public as a gateway for the remainder of the SPA.

As required by Tables 5-1 of the Lent Ranch SPA, the following exhibits have been provided by the applicant for review:

District Development Plan

- Site Plan
- Landscape Plan
- Conceptual Architecture
- Conceptual Signage Program
- Site Amenities Plan
- Grading and Drainage Plan
- Conceptual Photometric Plan

Site Plan

The project site is located immediately south of the Elk Grove Promenade mall, on the western side of Highway 99. Promenade Parkway intersects the project site. As proposed in the site plan below, the main buildings within the Feletto Property are oriented towards Promenade Parkway and Kammerer Road. The site plan incorporates approximately 33,200 square feet of commercial and restaurant building space, divided into six building envelopes. Buildings proposed within the eastern portion of the District include two four-story, 120 and 136 room hotels. A 2,950 square foot service station building, car wash, and canopy are proposed at the intersection of Kammerer Road and Promenade Parkway, in the western portion of the District. A landscaped area will contain a pylon sign for the project, which is located immediately northeast of proposed hotel 1.

Development standards established by the SPA for the District include building setbacks, height limits, and parking ratios. Proposed buildings within the project have been located consistent with the front and side street setback requirements. Building heights within this District are limited to 40 feet for hotel buildings, unless one additional foot of setback is provided for each additional one foot of height over the 40 foot height limit, up to a maximum of 70 feet. Proposed hotel 1 is approximately 50 feet in height and is located 38.4 feet from West Stockton Boulevard, providing 13 additional feet of setback above the requisite 25 feet, consistent with the SPA standards. Proposed hotel 2 is also approximately 50 feet in height. All other proposed buildings are less than 40 feet in height and are setback in compliance with the SPA.

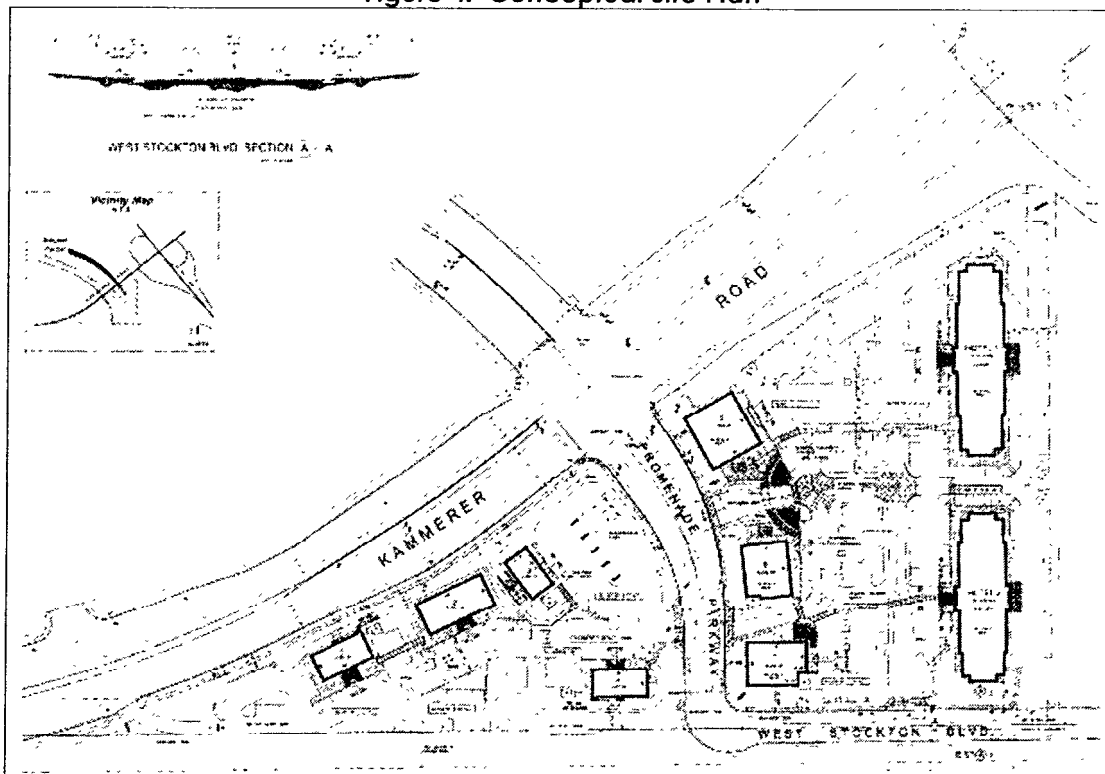
The proposed project also includes a service station with a retail building, canopy, and car wash. The proposed retail building and car wash are in compliance with the 2001 zoning code (340-43) with regards to the height limit; however, the proposed canopy exceeds the required height limit of 17 feet by approximately 2 feet. Therefore, the applicant has requested an exception to exceed the height limit for the proposed canopy. The applicant's justification for the exception is based on the need to conform to national fuel retailer specifications, to avoid visual clutter, and to allow travelers to recognize their fueling opportunity in time to provide them

with adequate distance to safely access the site. Given the proposed services station's location more than 500 feet from any residential neighborhood, the limited amount by which the canopy exceeds the height limit, and based on the applicant's justification described above, staff supports the request for an exception to the height limit for the proposed canopy.

Per Section 12 in the Lent Ranch SPA, parking within this District is required to be provided at a ratio of 5 spaces per 1,000 square feet of commercial buildings. Additionally, 1 space per guest room is required for the two proposed hotels and 8 spaces per 1,000 square feet of restaurants buildings. As proposed, the site plan will accommodate 550 parking spaces, which exceeds the minimum required parking by 31 spaces (519 parking spaces required).

The site plan provides two vehicular access points from Promenade Parkway into the commercial and hotel building portion of the District. Additionally, two access points into the west side of the district for restaurants and retail are provided. However, Public works has concerns with the driveways on the east side and Condition 17 requires the applicant to eliminate the second driveway. The location of Building 5 is intended to provide a future tenant with the opportunity to create a high quality, visible corner gateway into the project. The applicant has indicated that a second driveway is necessary to ensure this level of corner tenant can be achieved and as such, does not agree with Condition 17. Pedestrian access is provided within the landscape corridors on Promenade Parkway, West Stockton Boulevard, and Kammerer Road, connecting through the parking areas to the building, via several landscaped pathways that are unimpeded by vehicular traffic. Condition of approval 20 requires the applicant to provide a reciprocal access within the eastern portion of the project site through to the adjacent property east of the project site (District G) to facilitate easier vehicular access between the districts for future use. The applicant has expressed that due to the unknown type of development that may occur within District G, they do not agree with Condition 20.

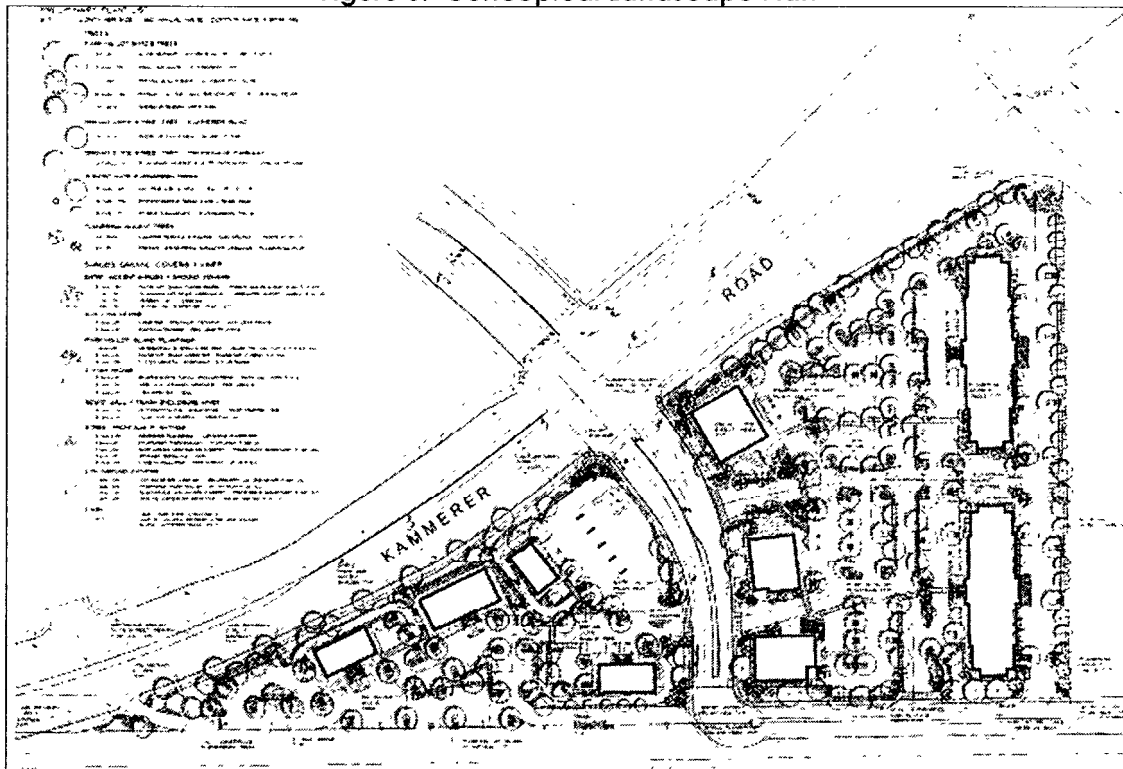
Figure 4: Conceptual Site Plan



Landscape Plan

The conceptual landscape plans provide planting and hardscape details to be incorporated through the proposed project. As described above, landscaped pedestrian pathways are provided through the parking areas in order to accommodate safe pedestrian passage through the project site. The project will incorporate three potential public plazas, located near the future commercial buildings, to provide gathering spots for customers. The landscape plan is consistent with the standards of the SPA including parking lot shading and landscaped islands for every 20 parking spaces. The parking lots will be 60% shaded with landscape of varied trees and shrubs. These plans have been reviewed and conditioned by the City's Landscape Architect. A portion of these plans is shown in the figure below. The remaining landscape exhibits are included in Attachment 2.

Figure 5: Conceptual Landscape Plan



Conceptual Architecture

The architectural style for the overall Feletto Property District is generally traditional in nature, relying on the use of a variety of materials and colors to maintain visual interest. The design scheme utilizes mainly linear design features such as columns and awnings as well as varying building planes to invoke the desired design style. Materials to be used for the buildings include cement plaster, stone veneer and an assortment of colors with metal and fabric awnings and trellises. The materials and color palette are intended to be conceptual and not restrict other designs that may suit the building occupant better; however each building shall be cohesive with the other buildings in the district. A series of linear awnings and trellises will be used to provide shaded entryways and walkways for pedestrian between individual tenants within the district. Complete details of the conceptual architecture exhibits are included in Attachment 2. All proposed buildings will be reviewed through the Development Plan Review entitlement process for consistency with the conceptual architecture.

Sign Program

The signage program included in Attachment 2 proposes four sign categories: building mounted signs, monument signs, directional signs, and a pylon sign for vehicles visible from Promenade Parkway, West Stockton Boulevard, Kammerer Road and Highway 99. The site plan shows the location of each monument sign as well as the pylon sign. The proposed sign program shows the location of the building mounted signs on the buildings. Each building has a different standard for location of the tenant signage. As proposed, the sign program would allow for each tenant to have one sign per building elevation and the standards for dimensions of each sign will comply with the 2001 zoning code standards (335-20), which requires the total area of all signs not to exceed 2 square feet per foot of building frontage if less than 50 feet from the right of way. If buildings are located more than 50 feet from the right-of-way, the signs shall not exceed 3 square feet per foot of building frontage.

There are six monument signs proposed on the site plan throughout the district. The locations for the monument signs are on the corners of West Stockton Boulevard and Promenade Parkway, as well as at the driveway entrances of the district. The design of the monument sign is the same for all entrances. The monument signs are two-sided, fabricated aluminum with stone veneer base to match the building design. There are two sizes of monument signs, both of which comply with the zoning code. Monument sign A is proposed to be 12 feet tall. Monument sign B is proposed to be 14 feet tall. Additionally, the signs are setback a minimum of 10 feet from the right of way in compliance with the code.

The pylon sign will be located within the landscaped area north of proposed hotel 1. As proposed, the pylon sign will have a total height of 70 feet including the structural base and will accommodate identification for each tenant in the district. The pylon sign exceeds the height limit; however the reason for the increase in height is due to the location of the site and the grade difference between the site and the adjacent interchange. As described above, the SPA identifies this District as a gateway into the Lent Ranch SPA area. The proposed pylon sign provides adequate identification for the commercial services within the district for both north and south bound travelers on Highway 99 as well other locations within the SPA. The sign program will serve to provide a cohesive approach to signage throughout the proposed project further enhancing the overall design of the district.

Site Amenities Plan

In addition to building materials, the Site Amenities package in Attachment 2 provides site furniture, bicycle racks, bollards, planters, and other ornamental materials to be incorporated into the proposed project. As identified above, the project has been designed to provide multiple public plazas, in which, the site amenities will be incorporated. These items have also been to further enhance the overall design of the project and add a sense of place for the district.

Grading and Drainage Plan & Conceptual Photometric Plan

Both of these plans were submitted with the application and reviewed by the appropriate agencies and departments. They are in compliance with the Sacramento County Code and the Lent Ranch Special Planning Area.

Environmental Analysis

Staff has reviewed the project and determined that it is exempt from the California Environmental Quality Act (CEQA) review pursuant to section 15183 (Projects Consistent with a

Community Plan, General Plan, or Zoning). The proposed District Development Plan for two proposed hotels and commercial buildings within the District is consistent with the General Plan and Lent Ranch Special Planning Area (SPA). Based upon staff's analysis, all potentially significant environmental effects for this project have been adequately analyzed and addressed in the Environmental Impact Report (EIR) previously prepared for the Lent Ranch Special Planning Area and adopted by the City in June of 2001 in accordance with CEQA. There are no project-specific significant effects which are peculiar to the proposed project or its site that were not analyzed in the previously certified EIR. Therefore no further review is required.

Letters from Commenting Agencies

Letters have been received from the following city departments and agencies:

- Building Department- *attached*
- City Attorney- *no response*
- Community Enhancement- *no comment*
- Finance- *no comment*
- Police Department- *no comment*
- E-Tran- *no comment*
- City's Landscape Architect- *attached*
- Solid Waste- *attached*
- Frontier- *no response*
- SMUD- *no response*
- Public Works- *attached*
- Cosumnes CSD-Fire- *attached*
- Sacramento County- Sanitation District- *attached*
- Sacramento County- Water Supply- *attached*
- Trails Committee- *no response*
- CRWQCB- *attached*
- CALTRANS- *attached*
- PG & E- *no response*
- SMAGMD- *attached*

The proposed project was routed to several City departments, county and state agencies. Comments from these agencies are included in Attachment 3. Most responding agencies provided comments on the project that have been incorporated into the project's Conditions of Approval in Attachment 1.

The comments from the responding agencies have been reviewed and answered by either the applicant or staff. For clarification, this application is part of the Lent Ranch Development Agreement dated September 2001 as well as the Condemnation Settlement Agreement dated October 2007. In addition, the applicant is aware of the previously approved project for Lent Ranch Special Planning Area, and acknowledges the obligation to comply with the previously approved conditions of approval and mitigation measures. The applicant has noted their acceptance of these conditions in their letter included in Attachment 4. However, the applicant is not accepting of the conditions discussed on page 6 of this staff report.

Recommended Motion

Should the Planning Commission agree with staff's recommendation, the following motion is suggested:

"I move that the Planning Commission recommend the City Council approve the District Development Plan for the Feletto Property, District F (EG-08-044) subject to the findings and conditions of approval contained in the November 6, 2008 staff report".

Findings

CEQA

Finding: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Evidence: The proposed project for a district with restaurants, hotels, retail, and service stations is consistent with both the General Plan and Lent Ranch Special Planning Area (SPA). Based upon staff's analysis, all potentially significant environmental effects for this project have been adequately analyzed and addressed in the Environmental Impact Report (EIR) previously prepared for the Lent Ranch Special Planning Area and adopted by the City in June of 2001 in accordance with CEQA. There are no project-specific significant effects which are peculiar to the proposed project or its site that were not analyzed in the previously certified EIR. Therefore no further review is required.

District Development Plan

Finding: The proposed District Development Plan is consistent with the Lent Ranch SPA and establishes the design and development standards for the Visitor Commercial land use district.

Evidence: The District Development Plan for Feletto Property District F includes a conceptual site plan, conceptual architecture, landscaping, sign program, conceptual amenities and pedestrian connectivity for the project. These guidelines and standards will provide the framework for future development plan review entitlement requests for buildings within the proposed district.

Attachments

1. District Development Plan Conditions of Approval
2. Project Exhibits
3. Letters from Commenting Agencies
4. Letter from Applicant



Incorporated July 1, 2000

8380 Laguna Palms Way
Elk Grove, California 95758

CITY OF ELK GROVE

Telephone: (916) 683-7111
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**City of Elk Grove – City Council
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Wednesday, December 10, 2008 at the hour of 6:00 p.m., or as soon thereafter as the matter may be heard, the Elk Grove City Council will conduct a public hearing at City Hall in the Council Chambers, 8400 Laguna Palms Way, Elk Grove, California, to consider the following matter:

FELETTO PROPERTY DISTRICT - DISTRICT F – (EG-08-044)– DISTRICT DEVELOPMENT PLAN:

REQUEST: A District Development Plan for a 12.8 acre visitor commercial district (District F) within the Lent Ranch Special Planning Area. The District Development Plan includes review of conceptual development plans: conceptual site plan, landscape plan, sign program, site amenities, and architectural concepts, which will be used for future Development Plan Review entitlements.

OWNER/APPLICANT:	AGENT:
Feletto Development, LLC	Gillum Consulting, Inc.
Martin Feletto	Jim Gillum
PO Box 19928	1632 Weinreich Court
Sacramento, CA. 95819	Folsom, CA. 95630

LOCATION: The project site is located on the SW and SE corners of Kammerer Road and South Promenade Park Way.
APN: 134-1010-009 and 134-1010-010

ZONING: Lent Ranch SPA (Visitor Commercial)

ENVIRONMENTAL REVIEW: The project is exempt from the provisions of CEQA under section 15183 of Title 14 of the California Code of Regulations (Projects consistent with a Community Plan, General Plan, or Zoning for which an EIR was certified).

Information regarding this item may be obtained in the office of the Development Services – Planning, 8401 Laguna Palms Way, Elk Grove, California or by contacting Kyra O’Malley at (916) 478-2220. All interested persons are invited to present their views and comments on this matter. Written statements may be filed with the City Clerk at any time prior to the close of the hearing scheduled herein, and oral statements may be made at said hearing.

If you challenge the subject matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the City Clerk, 8380 Laguna Palms Way, Suite 200 Elk Grove, CA, 95758, at or prior to the close of the public hearing.

Dated: November 28, 2008
SUSAN J. BLACKSTON
CITY CLERK, CITY OF ELK GROVE



DECLARATION OF MAILING/POSTING

NOTICE OF PUBLIC HEARING TO CONSIDER Feletto Property District – District F EG-08-044 District Development Plan – Lent Ranch Special Planning Area

On November 25, 2008, in the City of Elk Grove, Sacramento County, California, a copy of the above subject matter, attached hereto and marked **Exhibit A** was posted at 8400 Laguna Palms Way, Elk Grove, California, on the interior and exterior posting boards, the exterior posting board at 8380 Laguna Palms Way, and is on file in the Office of the City Clerk.

Posting Only, OR;

Posting and Mailing (if checked, fill in box below DECLARATION OF MAILING)

DECLARATION OF MAILING

In addition, for the said Public Hearing Notice, I deposited in the United States mail, envelopes with first-class postage prepaid thereon, containing the above subject Notice of Public Hearing attached hereto and marked **Exhibit A**. The mailing list for said matter, which was provided to the City Clerk's Office by the Planning Department containing **#93 addresses**, is attached hereto and marked **Exhibit B**.

I declare under penalty of perjury that the foregoing is true and correct.

Executed on November 25, 2008 at Elk Grove, California.

8:00 am/pm Time of Posting

DIRECTED BY:

SUSAN J. BLACKSTON
CITY CLERK, CITY OF ELK GROVE


Julie Jedlowski
Administrative Assistant

1341010001
Occupant
10551 W STOCKTON BL
ELK GROVE, CA 95757

1340220063
Occupant
10686 W STOCKTON BL
ELK GROVE, CA 95757

1340600013
Occupant
10428 E STOCKTON BL
ELK GROVE, CA 95624

1340600029
Occupant
10490 E STOCKTON BL
ELK GROVE, CA 95624

1340600031
Occupant
10466 GRANT LINE RD
ELK GROVE, CA 95624

1340510032
Occupant
10461 GRANT LINE RD
ELK GROVE, CA 95624

1340520027
Occupant
9240 SURVEY RD
ELK GROVE, CA 95624

1340510034
Occupant
10519 E STOCKTON BL
ELK GROVE, CA 95624

1340220055
Occupant
10549 E STOCKTON BL
ELK GROVE, CA 95758

1340510028
Occupant
9182 SURVEY RD
ELK GROVE, CA 95624

1340220040
Occupant
10475 W STOCKTON BL
ELK GROVE, CA 95758

1340600051
Occupant
10399 E STOCKTON BL
ELK GROVE, CA 95624

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Occupant
10491 E STOCKTON BL
ELK GROVE, CA 95624

1340600016
Occupant
10473 E STOCKTON BL
ELK GROVE, CA 95624

1340520013
Occupant
9256 SURVEY RD
ELK GROVE, CA 95624

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Occupant
9248 SURVEY RD
ELK GROVE, CA 95624

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10461 GRANT LINE RD
ELK GROVE, CA 95624

1340510035
Occupant
10471 GRANT LINE RD
ELK GROVE, CA 95624

1340510010
Occupant
9195 SURVEY RD
ELK GROVE, CA 95624

1340650004
Occupant
10520 E STOCKTON BL
ELK GROVE, CA 95624

1341010011
Occupant
10555 W STOCKTON BL
ELK GROVE, CA 95758

1340600058
Occupant
10481 E STOCKTON BL
ELK GROVE, CA 95624

1340600034
Occupant
10465 E STOCKTON BL
ELK GROVE, CA 95624

1340520025
Occupant
9262 SURVEY RD
ELK GROVE, CA 95624

1340220054
Occupant
10547 E STOCKTON BL
ELK GROVE, CA 95758

1340520005
Occupant
9261 SURVEY RD
ELK GROVE, CA 95624

1340520026
Occupant
9255 SURVEY RD
ELK GROVE, CA 95624

1340650007
Occupant
10500 E STOCKTON BL
ELK GROVE, CA 95624

1340510036
Occupant
9183 SURVEY RD
ELK GROVE, CA 95624

1340510027
Occupant
9176 SURVEY RD
ELK GROVE, CA 95624

1341010001 ELK GROVE TOWN CENTER L P PO BOX 617905 CHICAGO, IL 60661	1341010004 M/H REALTY PARTNERS AFFILIATED FUND III LP 425 CALIFORNIA ST 11 SAN FRANCISCO, CA 94104	1341010003 M/H REALTY PARTNERS AFFILIATED FUND III LP 425 CALIFORNIA ST 11 SAN FRANCISCO, CA 94104
1341010002 M/H REALTY PARTNERS AFFILIATED FUND III LP 425 CALIFORNIA ST 11 SAN FRANCISCO, CA 94104	1341010011 LENT LISA K/ROBERT H/BRIAN W LENT TRUST/ETAL 10557 W STOCKTON BL ELK GROVE, CA 95757	1340220063 ALAN C/PATRICIA A WACKMAN REVOCABLE TRUST/ETAL 10686 W STOCKTON BLVD ELK GROVE, CA 95757
1340220062 ALAN C/PATRICIA A WACKMAN REVOCABLE TRUST/ETAL 10686 W STOCKTON BLVD A ELK GROVE, CA 95757	1320151020 WACKMAN HOWARD P III/MICHAEL K/ALAN C/ETAL 10686 W STOCKTON BLVD A ELK GROVE, CA 95757	1340220066 ALAN C/PATRICIA A WACKMAN REVOCABLE TRUST/ETAL 10686 W STOCKTON BLVD A ELK GROVE, CA 95757
1320151019 WACKMAN FAMILY TRUST/HOWARD P WACKMAN III/ETAL 10686 W STOCKTON BLVD A ELK GROVE, CA 95757	1340600051 GEORGIA PACIFIC RESINS INC(KOCH FOREST PRODUCTS) 133 PEACHTREE ST NE ATLANTA, GA 30303	1340600057 LANSFORD DEVELOPMENT LP 4414 N AZUSA CANYON RD IRWINDALE, CA 91706
1340600058 LANSFORD DEVELOPMENT LP 2772 PECK RD MONROVIA, CA 91016	1340600013 SES COUNCIL JOSE DA COSTA NO 76 6241 E CATLETT RD LINCOLN, CA 95648	1340600049 ELK GROVE V PARTNERS LLC 1200 CONCORD AV 200 CONCORD, CA 94520
1340600043 CMD COURT INVESTORS LLC PO BOX 475 GRIZZLY FLATS, CA 95636	1340600014 ELK GROVE V PARTNERS LLC 1200 CONCORD AV 200 CONCORD, CA 94520	1340600034 ELK GROVE V PARTNERS LLC 1200 CONCORD AV CONCORD, CA 94520
1340600040 JQR DEVELOPMENT GROUP/RKJ LIMITED LP 200 CONCORD AV 200 CONCORD, CA 94520	1340600029 JQR DEVELOPMENT GROUP/RKJ LIMITED LP 200 CONCORD AV 200 CONCORD, CA 94520	1340520033 SURVEY ROAD PARTNERS LLC PO BOX 5015 BUENA PARK, CA 90622
1340600016 ELK GROVE V PARTNERS LLC 1200 CONCORD AV 200 CONCORD, CA 94520	1340520021 HAMAD GASOLINE 8655 BHATIMA WY ELK GROVE, CA 95624	1340520025 WILSON BRYAN 4359 TOWN CENTER BL 214 EL DORADO HILL, CA 95762
1340600031 ELK GROVE V PARTNERS LLC 1200 CONCORD AV 200 CONCORD, CA 94520	1340520013 KINNEY FRANCES C/RAYMOND G/JOHN V KOPP JR/ETAL PO BOX 22990 SACRAMENTO, CA 95822	1340220054 WESTERN BUYERS PO BOX 255749 SACRAMENTO, CA 95865
1340510032 JOHN/CLAUDINE JACKSON FMLY REVOCABLE 5665 POWER INN RD 140 SACRAMENTO, CA 95824	1340520014 NGUYEN NHAT HA 9813 VISTA GRANDE WY ELK GROVE, CA 95624	1340520005 SINGH SALENDAR/SURINDRA K 9184 SHELDON RD ELK GROVE, CA 95624

1340520027
ELK GROVE LODGE NO 2577 B P O E/USA
PO BOX 30
ELK GROVE, CA 95759

1340510034
10519 E STOCKTON LLC
30012 IVY GLENN DR 200
LAGUNA NIGUEL, CA 92677

1340510011
JACKSON/EKSTROM
5665 POWER INN RD
SACRAMENTO, CA 95824

1340650006
CITY OF ELK GROVE
8401 LAGUNA PALMS WY
ELK GROVE, CA 95758

1340510009
LUPTON FAMILY TRUST
12652 APRICOT LN
WILTON, CA 95693

1340510030
MONTY/MONICA STANLEY 2005 REVOCABLE TRUST
8353 DILLARD RD
WILTON, CA 95693

1340510028
MONTY/MONICA STANLEY 2005 REVOCABLE TRUST
8353 DILLARD RD
WILTON, CA 95693

1340510021
ZVS CORPORATE PARTNERS
1481 RIVERPARK DR
SACRAMENTO, CA 95815

1340220084
COSUMNES COMMUNITY SERVICES DISTRICT
8820 ELK GROVE BL
ELK GROVE, CA 95624

1340520006
MARENGO FAMILY TRUST
9269 SURVEY RD
ELK GROVE, CA 95624

1340510033
JOHN/CLAUDINE JACKSON FMLY REVOCABLE
5665 POWER INN RD 140
SACRAMENTO, CA 95824

1340510035
HARRYJ/BETTINA D TRUST/10471 GRANT LINE ROAD LLC
35 INVERRARY LN
ALAMO, CA 94507

1340520017
WESTERN BUYERS
PO BOX 255749
SACRAMENTO, CA 95865

1340510010
BELL KENNETH R/JERRY S
8591 ELK GROVE BL
ELK GROVE, CA 95624

1340510031
MONTY/MONICA STANLEY 2005 REVOCABLE TRUST
8353 DILLARD RD
WILTON, CA 95693

1340510029
MONTY/MONICA STANLEY 2005 REVOCABLE TRUST
8353 DILLARD RD
WILTON, CA 95693

1340650004
CITY OF ELK GROVE
8401 LAGUNA PALMS WY
ELK GROVE, CA 95758

1340510026
VENINGA DONALD J/LINDA K
PO BX 476
ELK GROVE, CA 95759

1340220058
ELK GROVE COMMUNITY SERVICES DISTRICT
8820 ELK GROVE BL
ELK GROVE, CA 95624

1340520028
JEFFREY L WALLACE REVOCABLE TRUST
9221 SURVEY RD
ELK GROVE, CA 95624

1340520026
BEVANS DOUGLAS W/MARILEE A
9346 SILVERHOLLOW LN
ELK GROVE, CA 95624

1340220075
BAY CITIES BUILDING MATERIALS CO INC
755 STOCKTON AV
SAN JOSE, CA 95126

1340220055
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SACRAMENTO, CA 95865

1340520022
FONG STEVEN/KAREN
7509 GREENHAVEN DR
SACRAMENTO, CA 95831

1340510036
RTL ENTERPRISES LLC
PO BOX 717
RANCHO MURIETA, CA 95683

1340510038
CONSTANCE D BEAMAN FAMILY TRUST
197 FLYING MIST ISLE
FOSTER CITY, CA 94404

1340510027
VENINGA DONALD J/LINDA K
PO BX 476
ELK GROVE, CA 95759

1340220077
ELK GROVE COMMUNITY SERVICES DISTRICT
8820 ELK GROVE BL
ELK GROVE, CA 95624

1340220082
COSUMNES COMMUNITY SERV DIST
8812 ELK GROVE BL 1
ELK GROVE, CA 95624

1340220018
GOLDEN STATE DOOR INC
10551 E STOCKTON BL
ELK GROVE, CA 95758

1340510026

Occupant

9168 SURVEY RD

ELK GROVE, CA 95624

1340510023

Occupant

10535 E STOCKTON BL

ELK GROVE, CA 95624

1340220058

Occupant

10573 E STOCKTON BL

ELK GROVE, CA 95758