

RESOLUTION NO. 2005-109

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE APPROVING A TENTATIVE SUBDIVISION MAP AND DESIGN REVIEW FOR BOND ROAD 40, PROJECT NO. EG-04-597, SUBJECT TO THE FINDINGS AND MMRP/CONDITIONS OF APPROVAL

WHEREAS, Bond Road 40, represented by Meritage Homes (hereinafter referred to as Applicant) filed an application with the City of Elk Grove (hereinafter referred to as City) for a Rezone, Tentative Subdivision Map and Design Review. (Assessor's Parcel Numbers 127-0160-050); and

WHEREAS, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

WHEREAS, an Initial Study was prepared for this project and a Notice of Intent to Adopt a Mitigated Negative Declaration was prepared and circulated according to the requirements of the California Environmental Quality Act (CEQA); and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on March 10 and March 24, 2005 and recommended City Council approval of the project.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ELK GROVE HEREBY RESOLVES AS FOLLOWS:

1. Approve the Bond Road 40 Tentative Subdivision Map and Design Review based on the following findings and the attached subdivision map and conditions of approval included as Exhibit A and B.

Findings

CEQA

Finding: The proposal will not have a significant adverse impact on the environment and a Mitigated Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA).

Evidence: An Initial Environmental Study was prepared for the proposed project and mitigation measures have been developed that will reduce potential environmental impacts to less than significant levels. On the basis of the Mitigated Negative Declaration, comments received, and the whole record, there is no substantial evidence that the project will have a significant adverse impact on the environment.

General Plan

2. Findings: The project is consistent with the goals and policies of the Elk Grove General Plan.

Evidence: The General Plan identifies the site for Low Density Residential uses. The project is consistent with the goals and policies of the General Plan for residential development within the City of Elk Grove.

Rezone

3. Finding: The proposed rezone is in the public interest. (Section 65358(a) of the Government Code and the Plan Administration Element of the Elk Grove General Plan).

Evidence: The Planning Commission has reviewed the proposed rezone, staff report, and has received public testimony at a duly noticed public hearing regarding the matter. The applicant's proposal is consistent with the allowed density ranges and uses in the Elk Grove General Plan and General Plan Land Use Map.

Tentative Subdivision Map

4. Finding: Section 66474 of the California Subdivision Map Act requires a City to deny approval of a tentative map if it makes any of the following findings:
 - a. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
 - b. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
 - c. That the site is not physically suitable for the type of development.
 - d. That the site is not physically suitable for the proposed density of development.
 - e. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
 - f. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
 - g. That the design of the subdivision or type of improvements will conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision.

Evidence: The above Findings #a. through #g. do not apply to the proposed Tentative Subdivision Map.

- a. The proposed map is consistent with the Elk Grove General Plan and rezone.
- b. The design of the improvements of the proposed subdivision is consistent with the General Plan and design standards of the municipal code and City-wide design guidelines.

- c. The site is physically suitable for extension of residential development and is consistent with the specific plan.
- d. The site is appropriate for the specified density of development.
- e. The Mitigated Negative Declaration prepared for the Bond Road 40 project determined that potential environmental impacts from the design of the subdivision or the proposed improvements will be mitigated to less than significant levels with implementation of the proposed Mitigation Measures and Conditions of Approval.
- f. The Mitigated Negative Declaration prepared for the Bond Road 40 project determined that no potential serious health problems were identified from the project.
- g. No conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision, have been identified.

Design Review

Finding: The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, and Citywide Design Guidelines adopted by the City.

Evidence: The Bond Road 40 project is consistent with the land use densities and design criteria established in the Elk Grove General Plan. The proposal is consistent with the allowed density ranges and uses in the Elk Grove General Plan and General Plan Land Use Map. The proposed project is consistent with the Plan's objectives of orderly and systematic development and responds to opportunities and constraints in the local community area.

Finding: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian modes of transportation.

Evidence: The project has been conditioned to provide right-of-ways for a circulation pattern consistent with the requirements of the General Plan Circulation Element. Roadways have bicycle lanes where necessary and are designed to reduce conflicts between varying modes of transportation.

Finding: The residential subdivision is well integrated with the City's street network, creates unique neighborhood environments and establishes a pedestrian friendly environment.


Evidence: The Bond Road 40 project has been designed to provide connectivity to the existing street network as well as to provide an internal roadway pattern. The project creates a rural neighborhood and primary residential roadways have been designed to rural standards in accordance with the City's Design Guidelines.

PASSED AND ADOPTED by the City Council of the City of Elk Grove on the 27th day of April 2005.



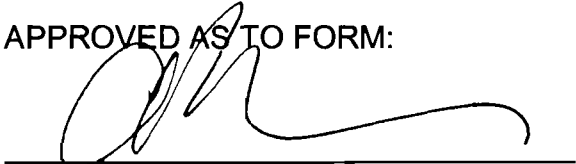
DANIEL BRIGGS, MAYOR of the
CITY OF ELK GROVE

ATTEST:



PEGGY E. JACKSON, CITY CLERK

APPROVED AS TO FORM:



ANTHONY B. MANZANETTI,
CITY ATTORNEY

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
1. The development approved by this action is for a Rezone, Tentative Subdivision Map and Design Review, as described in the City Council report, and associated Exhibits and Attachments dated April 27, 2005 .	On-Going	City of Elk Grove Development Services - Planning	
2. This action does not relieve the Applicant (including future successors and assigns) of the obligation to comply with all ordinances, statutes, regulations, and procedures.	On-Going	City of Elk Grove Development Services - Planning	
3. The Tentative Subdivision Map approval is valid for three years from the date of City Council approval, unless an extension of time is subsequently approved.	Three years, commencing with the date of City Council approval	City of Elk Grove Development Services - Planning	
4. The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.	On-Going	City of Elk Grove Development Services - Planning	
5. If there are any discrepancies between the approved tentative map and the conditions of approval, the conditions of approval shall supersede the approved tentative map.	On-Going	City of Elk Grove Development Services - Public Works	
6. The Applicant shall pay all appropriate development fees charged by the City and other Special Districts providing services to the site.	On-Going	City of Elk Grove Development Services - Public Works	

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7.	Streets shall be closed to the public until Department of Public Works, Division of Traffic Engineering and the project engineer determine the appropriate traffic control devices to be installed and the devices are installed to the satisfaction of Public Works. Road closure devices shall be in place immediately and maintained in-place at all times upon completion of paving. Road closure may also require alternative accesses to both building and improvements construction traffic. The type of road closure devices shall be determined and approved by Public Works.	On-Going	City of Elk Grove Development Services - Public Works	
8.	Construction and building activities will not commence before 7 am (including all equipment loading, unloading, mechanical repairs, washing, fueling) nor continue after 6 pm.	On-going	Development Services - Planning	
9.	Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches.	On-Going	Public Works	
Prior to Grading/Improvement Plans/Final Map				
10.	The project shall comply with the City's Land Grading and Erosion Control Ordinance.	Prior to approval of Improvement Plans	City of Elk Grove Development Services - Public Works	
11.	<i>Category 1: Reducing NO_x emissions from off-road diesel powered equipment</i>	Note on Improvement Plan Prior to issuance of grading	City of Elk Grove Development	

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<p>The project shall provide a plan for approval by City of Elk Grove and SMAQMD demonstrating that the heavy-duty (> 50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet-average 20 percent NO_x reduction and 45 percent particulate reduction compared to the most recent CARB fleet average at time of construction; and</p> <p>The project representative shall submit to City of Elk Grove and SMAQMD a comprehensive inventory of all off-road construction equipment, equal to or greater than 50 horsepower, that will be used an aggregate of 40 or more hours during any portion of the construction project. The inventory shall include the horsepower rating, engine production year, and projected hours of use or fuel throughput for each piece of equipment. The inventory shall be updated and submitted monthly throughout the duration of the project, except that an inventory shall not be required for any 30-day period in which no construction activity occurs. At least 48 hours prior to the use of subject heavy-duty off-road equipment, the project representative shall provide SMAQMD with the anticipated construction timeline including start date, and name and phone number of the project manager and on-site foreman.</p> <p>and:</p>	<p>permit; on-going during construction activity</p>	<p>Services – Planning and SMAQMD</p>	

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<p><u>Conditions of Approval / Mitigation Measure</u></p> <p><i>Category 2: Controlling visible emissions from off-road diesel powered equipment</i></p> <p>The project shall ensure that emissions from all off-road diesel powered equipment used on the project site do not exceed 40 percent opacity for more than three minutes in any one hour. Any equipment found to exceed 40 percent opacity (or Ringelmann 2.0) shall be repaired immediately, and the City of Elk Grove and SMAQMD shall be notified within 48 hours of identification of non-compliant equipment. A visual survey of all in-operation equipment shall be made at least weekly, and a monthly summary of the visual survey results shall be submitted throughout the duration of the project, except that the monthly summary shall not be required for any 30-day period in which no construction activity occurs. The monthly summary shall include the quantity and type of vehicles surveyed as well as the dates of each survey. The SMAQMD and/or other officials may conduct periodic site inspections to determine compliance. Nothing in this section shall supercede other SMAQMD or state rules or regulations.</p> <p>¹Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available.</p>			
<p>12. Prior to the approval of improvement plans or the issuance of grading permits, the Applicant shall submit proof that the off-site air quality mitigation</p>	<p>Prior to the approval of improvement plans or the issuance of grading permits.</p>	<p>City of Elk Grove Development Services – Planning</p>	

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<p>fee has been paid to SMAQMD and that the construction air quality mitigation plan has been approved by SMAQMD and the City of Elk Grove (MM-4).</p>		<p>and SMAQMD</p>	
<p>13. Prior to demolition of any existing on-site structures, conduct an evaluation of potential asbestos-containing building materials as required by the Sacramento Metropolitan Air Quality Management District. If asbestos-containing materials are identified, remediation and disposal procedures shall be undertaken by qualified personnel in accordance with all applicable regulations, and in coordination with all applicable agencies.</p>	<p>Prior to demolition of structures</p>	<p>City of Elk Grove Development Services – Planning and SMAQMD</p>	
<p>14. Prior to any site grading or other site Improvements, such as clearing and grubbing, a pre-construction survey shall be conducted by a qualified biologist contracted by the Applicant or by the City and funded by the Applicant. The survey shall be conducted within 30 days of the start of construction activities for a 1/2-mile radius. In addition, a survey of the project site and areas within 500 feet of the project site shall be conducted once in April and once in May. If active Swainson's hawk's nests are found, the Applicant shall consult with the Department of Fish and Game (CDFG) and clearing and construction shall be postponed or halted until all young have fledged and additional nesting attempts no longer occur. If a nest tree is found on the subsequent project site prior to construction and is proposed for removal, appropriate permits from CDFG shall be obtained and mitigation</p>	<p>Prior to grading or other site Improvements</p>	<p>City of Elk Grove Development Services – Planning, in consultation with California Department of Fish and Game (CDFG)</p>	

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<p>implemented pursuant to CDFG guidelines</p> <p><u>Monitoring Actions</u></p> <ul style="list-style-type: none"> • <i>Prior to issuance of building or grading permits</i>, the Applicant shall provide Development Services-Planning written verification that a qualified biologist has been retained to perform the pre-construction survey. This action may be waived if the biologist will be contracted by the city at the Applicant's expense. • <i>No earlier than 30 days before commencement of construction activities</i>, including land clearing, the qualified biologist shall submit and certify to the Planning Director, the results of the pre-construction survey. Failure to submit the required survey results will delay the approval to initiate construction activities, including land clearing. • <i>No later than April 30</i>, the qualified biologist shall submit and certify to the Planning Director, the results of the 500-foot site perimeter survey. Failure to submit the required survey results will cause any construction activity to be halted until such results are submitted and approved by the Planning Director. If no construction activities have taken place, failure to submit the required survey results will delay the approval to initiate construction activities, including land clearing. • <i>No later than May 31</i>, the qualified biologist shall submit and certify to the Planning Director, the results of the 500-foot site perimeter survey. Failure to submit the required survey results will 			

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<p>cause any construction activity to be halted until such results are submitted and approved by the Planning Director. If no construction activities have taken place, failure to submit the required survey results will delay the approval to initiate construction activities, including land clearing.</p>			
<p>15. <i>Prior to any site disturbance, such as clearing or grubbing, or the issuance of any permits for grading, building, or other site improvements, whichever occurs first, the project applicant shall provide written verification to Development Services-Planning that <u>one</u> of following mitigation measures has been implemented:</i></p> <ul style="list-style-type: none"> • <i>Preserve 1.0 acre of similar habitat for each acre lost within a ten-mile radius of the project site. This land shall be protected through a fee title or conservation easement acceptable to the CDFG and the City of Elk Grove. The applicant shall be responsible for funding the operation and maintenance and/or monitoring of the protected land; OR,</i> • <i>Implement a Swainson's hawk mitigation plan to the satisfaction of the CDFG that includes the preservation of Swainson's hawk foraging habitat; OR</i> • <i>Submit payment of Swainson's hawk impact mitigation fee per acre of habitat impacted (payment shall be at a 1:1 ratio) to the City of Elk Grove in the amount set forth in Chapter 16.130 of the City of Elk Grove Code as such may be amended from time to time and to</i> 	<p>Prior to grading or other site Improvements</p>	<p>City of Elk Grove Development Services – Planning, in consultation with CDFG</p>	

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	<p>the extent that said chapter remains in effect. This option shall be suspended until Chapter 16.130 is amended to eliminate or correct the mitigation fee option so that it is available only to projects that do not exceed 50 acres in size.</p>			
16.	<p>The Applicant shall conduct a pre-construction survey to identify whether any of the targeted species exist on the site. Within thirty days of the commencement of any clearing, grading or construction that would occur during the nesting/breeding season (February 1 through September 1, or at any time of year for burrowing owl), a field survey shall be conducted by a qualified biologist to determine if active nests of burrowing owls, tricolored blackbirds, and other special-status species occur on the site. These surveys shall include all areas in or within 250 feet of the construction zone. In the event that nesting raptors (other than Swainson's hawk) are found, a 250-foot no-construction zone shall be established around the nest until the young have fledged, as determined by a qualified biologist. The Applicant shall consult with CDFG to determine the measures necessary to mitigate or avoid impacts to the species. Any required permits or approvals shall be obtained from CDFG prior to disturbance of the site. Mitigation measures may include flagging the burrow to avoid disturbance, passive relocation, active relocation to move owls from the site, or other measures required by the biologist or CDFG.</p>	<p>Prior to grading or other site Improvements</p>	<p>City of Elk Grove Development Services – Planning, in consultation with CDFG</p>	

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<p>Monitoring Actions</p> <ul style="list-style-type: none"> • Prior to the approval of any grading and/or building permits for the development of the site, Applicant or project owner shall submit to the City a copy of any/all required CDFG or USFWS permits and verification of any required consultation. • Prior to the commencement of any clearing, grading or construction, the Applicant shall submit to Development Services – Planning for approval, a copy of the survey results including evidence of consultation with CDFG and their recommendations, if applicable. 			
<p>17.: The Applicant shall develop and implement a Tree Protection Plan per the following specifications:</p> <p>The plan shall include a list of native and non-native trees to be preserved on the project site, including the species, condition, and diameter at breast height of each tree, and an exhibit depicting the location of those trees.</p> <p>All oak and California black walnut trees (<i>Juglans nigra</i>) that are 6 inches dbh or larger, or Landmark trees (native or non-native trees more than 18" DBH) on the project site that have been selected for preservation, all portions of adjacent off-site native trees which have driplines that extend onto the project site, and all off-site native trees which may be impacted by utility installation and/or improvements associated with this project, shall be protected as follows:</p>	<p>Prior to the issuance of any permits for grading, building or any other site improvements, or the recordation of any Final Subdivision Maps on the subject property, whichever occurs first</p>	<p>City of Elk Grove Development Services – Planning,</p>	

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<ol style="list-style-type: none"> 1. A circle with a radius measurement from the trunk of the tree to the tip of its longest limb shall constitute the dripline protection area of each tree. Limbs must not be cut back in order to change the dripline. The area beneath the dripline is a critical portion of the root zone and defines the minimum protected area of each tree. Removing limbs that make up the dripline does not change the protected area. 2. Any protected trees on the site that require pruning shall be pruned by a certified arborist prior to the start of construction work. All pruning shall be in accordance with American National Standards Institute (ANSI) A300 pruning standards and International Society of Arboriculture (ISA) "Tree Pruning Guidelines." 3. Temporary protective fencing shall be installed at least one foot outside the driplines of the protected trees prior to initiating construction in order to avoid damage to the tree canopies and root systems. 4. No signs, ropes, cables (except those which may be installed by a certified arborist to provide limb support) or any other items shall be attached to the trees. Small metallic numbering tags for the purpose of preparing tree reports and inventories shall be allowed. 5. No vehicles, construction equipment, mobile home/office, supplies, materials or facilities shall be driven, parked, stockpiled or located within the driplines of protected trees. 			

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<p>6. No grading (grade cuts or fills) shall be allowed within the driplines of protected trees.</p> <p>7. Drainage patterns on the site shall not be modified so that water collects or stands within, or is diverted across, the dripline of any protected tree.</p> <p>8. No trenching shall be allowed within the driplines of protected trees. If it is absolutely necessary to install underground utilities within the dripline of a protected tree, the utility line shall be bored and jacked under the supervision of a certified arborist.</p> <p>9. The construction of impervious surfaces within the driplines of protected trees shall be stringently minimized. When it is absolutely necessary, a piped aeration system per City standard detail shall be installed under the supervision of a certified arborist.</p> <p>10. No sprinkler or irrigation system shall be installed in such a manner that it sprays water or requires trenching within the driplines of protected trees. An above-ground drip irrigation system is recommended.</p> <p>11. Landscaping beneath oak trees may include non-plant materials such as bark mulch, wood chips, boulders, etc. The only plant species that shall be planted within the driplines of oak trees are those which are tolerant of the natural semi-arid environs of the trees. Limited drip irrigation approximately twice per summer is recommended for the understory plants.</p>			

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<p>12. Prior to the installation of new asphalt, weed control chemicals shall not be applied where they can leach into the dripline of any protected trees.</p> <p>13. During construction, the frequency and amount of watering for protected trees shall not differ from that received prior to construction.</p> <p><u>Monitoring Actions</u></p> <ul style="list-style-type: none"> • Prior to the issuance of any permits for grading, building or any other site improvements, or the recordation of any Final Subdivision Maps on the subject property, whichever occurs first, the plan shall be submitted to Elk Grove Planning for review and approval. 			
<p>18.- The Applicant shall develop and implement a Tree Replacement Plan per the following specifications The Tree Replacement Planting Plan shall be prepared by a certified arborist or landscape architect. The Plan shall comply with the City Code and General Plan policies and shall be submitted to the City for review. Current policies require that every inch lost will be mitigated by an inch planted or money placed in a tree mitigation bank. Please note that plantings required due to mitigation cannot be applied to fulfilling the landscaping requirements of the City's Design Guidelines. The Plan shall include the following elements:</p> <p>1) Species, size and location of all replacement plantings;</p>	<p>Prior to the issuance of any permits for grading, building or any other site improvements, or the recordation of any Final Subdivision Maps on the subject property, whichever occurs first</p>	<p>City of Elk Grove Development Services – Planning</p>	

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<ul style="list-style-type: none"> 2) Method of irrigation; 3) The City of Elk Grove Standard Tree Planting Detail L-1, including the 10-foot depth boring hole to provide for adequate drainage; 4) Planting, irrigation and maintenance schedules; 5) Identify the maintenance entity and include their written agreement to provide care and irrigation of the trees for a 3-year establishment period, and to replace any of the replacement oak trees which do not survive that period; 6) The minimum spacing for replacement oak trees shall be 20 feet on center; 7) Replacement oak trees shall not be planted within 15 feet of the driplines of existing oak trees to be retained on-site, or within 15 feet of a building foundation or swimming pool excavation; 8) No vehicles, construction equipment, mobile home/office, supplies, materials or facilities shall be driven, parked, stockpiled or located within the driplines of oak trees; 9) No grading (grade cuts or fills) shall be allowed within the driplines of the oak trees; 10) Drainage patterns on the site shall not be modified so that water collects or stands within, or is diverted across, the dripline of any oak tree; 11) No trenching shall be allowed within the dripline of oak trees. If it is absolutely 			

<p><u>Conditions of Approval / Mitigation Measure</u></p>	<p><u>Timing/ Implementation</u></p>	<p><u>Enforcement/ Monitoring</u></p>	<p><u>Verification (date and Signature)</u></p>
<p>necessary to install underground utilities within the dripline of an oak tree, the utility line shall be bored or jacked under the supervision of a certified arborist;</p> <p>12) The construction of impervious surfaces within the driplines of oak trees shall be stringently minimized. When it is absolutely necessary, a piped aeration system per City standard detail shall be installed under the supervision of a certified arborist;</p> <p>13) No sprinkler or irrigation system shall be installed in such a manner that requires trenching within or that sprays water into the driplines of oak trees. An above ground drip irrigation system is recommended;</p> <p>14) Landscaping beneath oak trees may include non-plant materials such as bark mulch, wood chips, boulders, etc. The only plant species that shall be planted within the driplines of oak trees are those that are tolerant of the natural, semi-arid environs of the trees. Limited drip irrigation approximately twice per summer is recommended for the understory plants.</p> <p><u>Monitoring Actions</u></p> <ul style="list-style-type: none"> • <i>Prior to the issuance of any permits for grading, building or any other site improvements, or the recordation of any Final Subdivision Maps on the subject property, whichever occurs first, the plan shall be submitted to Elk Grove Planning for review and approval.</i> 			

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19.	<p>Prior to the issuance of building permits, the applicant shall provide drainage easements and install facilities pursuant to the City of Elk Grove Floodplain Management Ordinance, Sacramento County Water Agency Code, and Elk Grove Improvement Standards, including any fee required by the Sacramento County Water Agency Code. Off-site drainage improvements and easements may need to be provided pursuant to the City of Elk Grove Floodplain Management Ordinance, and the City of Elk Grove Improvement Standards.</p> <p><u>Monitoring Action</u></p> <ul style="list-style-type: none"> • Prior to the approval of subsequent improvement plans and grading plans and noted on plans. 	<p>Prior to the issuance of any permits for grading, building or any other site improvements, noted on plans prior to approval</p>	<p>City of Elk Grove Development Services – Public Works</p>	
20.	<p>The Applicant shall comply with all NPDES Permit and City's Stormwater Ordinance requirement before, during, and after construction as require by the Permit and the Ordinance and in accordance with the latest version of the Guidance Manual of On-site Stormwater Quality Control Measure. That includes but not limited to the use of appropriate Best Management Practices (BMPs) measures.</p>	<p>Prior to the issuance of Grading Permit or as deemed necessary by Public Works</p>	<p>City of Elk Grove Development Services – Public Works and Planning</p>	
21.	<p>The Applicant shall file a notice of Intent, obtain a WDID number from the State Board and prepare a SWPPP. SWPPP improvements shall be in place prior to moving equipment, material and personnel on-site for grading activities</p>	<p>Prior to the issuance of Grading Permit</p>	<p>City of Elk Grove Development Services – Public Works</p>	

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22.	Provide calculation and layout showing drainage areas and the pipe capacity in conformance with the 1996 Hydrology Standards Volume II and City of Elk Grove Improvement Standards. Show the manner in which overland flows are to be conveyed for a point of discharge.	Prior to the issuance of Improvement Plans	City of Elk Grove Development Services – Public Works	
23.	Drainage improvement plans shall be constructed as approved by the City of Elk Grove. Drainage easements, pursuant to the Sacramento County Floodplain Management Ordinance, shall be dedicated and provided on the Final Subdivision Map, or dedicated by grant deed prior to the issuance of building permits. Drainage facilities shall be installed prior to the issuance of building permits pursuant to the City of Elk Grove Floodplain Management Ordinance, Sacramento County Water Agency Code, and Elk Grove Improvement Standards, including any fee required by the Sacramento County Water Agency Code.	Prior to the issuance of Improvement Plans	City of Elk Grove Development Services – Public Works	
24.	All finished floor elevations must be a minimum of 1 foot above the 100-yr water surface elevation in the area, calculated with a method acceptable to the City of Elk Grove, Public Works, Drainage. Provide hydraulic calculations as to the manner the 100-year water surface elevation was calculated..	Prior to the issuance of Improvement/Grading/Building Plans	City of Elk Grove Development Services – Public Works	
25.	The Applicant shall dedicate, design and install frontage improvements along project frontage including landscaping along Bond Road as identified in Bond Road Widening Project Report, in accordance with the City of Elk Grove	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>Improvement Standards and to the satisfaction of Public Works. A payment in-lieu for design and construction for the frontage improvements including landscaping may be made to the City at the discretion of the City. Should the improvements be completed by the City of Elk Grove under their Bond Road Widening project, the true cost of improving the frontage improvements required by this project under the City Code will be reimbursed to the City. True costs shall include but not be limited to environmental, design, right-of-way, contract administration and inspection, landscape and construction costs.</p>			
<p>26. The Applicant shall dedicate, design and install frontage improvements at the intersection of Bond Road and Crowell Drive, based upon an expanded intersection in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. Additional right-of-way for pavement and landscaping shall be required to align the future Crowell Drive with existing Quail Cove Drive. All necessary improvements on existing Quail Cove Drive are the responsibility of this project.</p>	<p>Prior to the recordation of any Final Subdivision Map</p>	<p>City of Elk Grove Development Services – Public Works</p>	
<p>27. The Applicant shall dedicate and improve Crowell Drive based on modified 50' primary residential street in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. The 4' sidewalk will be separated from the street with 6' of landscaping and a vertical curb. The back of sidewalk to back of sidewalk dimension will be 62'. The through lanes from Quail Cove Drive shall align to the satisfaction</p>	<p>Prior to the recordation of any Final Subdivision Map</p>	<p>City of Elk Grove Development Services – Public Works</p>	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	of Public Works with the future Crowell Drive. This may require Quail Cove Drive to be reconfigured.			
28.	All improvements shall be dedicated and designed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	
29.	Install one set of speed cushions on Crowell Drive between Carney Court and the parking lot of the Elk Grove Elementary School. The location of the speed cushions shall not block any driveway locations and must be approved by Public Works prior to installation. Design shall be in accordance with the City's standard details.	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	
30.	The Applicant shall dedicate and improve Neponset Drive between the neighborhood park and Crowell Drive based on modified 50' primary residential street in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. The back of sidewalk to back of sidewalk dimension shall be 55' and shall match the existing Neponset Drive cross-section. The cross-section shall consist of a 4' sidewalk, 3' curb and gutter, 39' of pavement, 3' vertical curb and gutter and a 6' sidewalk on the south side of Neponset Drive. Neponset Drive east of Crowell Drive shall be striped with parking and travel lanes. The centerline of the entire Neponset Drive shall match and smoothly transition at Crowell Drive. All street improvements shall be constructed prior to the 1 st building permit.	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
31.	Dedicate and improve Neponset Drive (west of Crowell Drive), A Street, C Street, D Street, D Court, E Street, F Street and E Court as shown in the tentative subdivision map, in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. E Court along the neighborhood park (Lot A) shall have a 6' wide sidewalk and a vertical curb. All street improvements shall be constructed prior to the 1 st building permit	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	
32.	Neponset Drive, A Street, C Street and Crowell Drive within this subdivision shall align with the adjacent subdivision (Fallbrook Unit 1A, Fallbrook Unit 7 and Bond Road 17). Centerline of all above streets within this subdivision shall match with the adjacent subdivision (Fallbrook Unit 1A, Fallbrook Unit 7 and Bond Road 17).	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	
33.	All improvements shall be designed in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works.	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	
34.	Install bulb-out traffic calming devices on Crowell Drive at Neponset Drive, designed to the satisfaction of Public Works.	Prior to approval of any Improvement Plans	Public Works	
35.	The Applicant shall dedicate a 12.5 foot public utility easement for underground facilities and appurtenances adjacent to all public and private streets. All facilities shall be installed underground in accordance with City Codes.	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
36.	Improvement plans must be approved by Public Works prior to City Council approval of Final Map.	Prior to the recordation of any Final Subdivision Map	City of Elk Grove Development Services – Public Works	
37.	The Bond Road widening Transportation Improvement Project shall construct Bond Road and the adjacent landscaping. This project shall match these improvements and shall also pay for or construct an additional continuous right-turn lane from Earl Fife Way to the future Crowell Drive, including a 25-foot landscape corridor measured from back of curb (including a 6-foot wide sidewalk). If appears as if the tentative map does not match the right-of-way for the improvements. If the right-of-way on the tentative map is incorrect, it shall require the map to be re-lotted.	Prior to the recordation of any Final Subdivision Map or Improvement Plans, whichever occurs first.	City of Elk Grove Development Services – Public Works	
38.	If right-of-way has not been previously dedicated and was purchased all the costs associated with the right-of-way purchased including staff time shall be reimbursed.	Prior to the recordation of any Final Subdivision Map or Improvement Plans, whichever occurs first	City of Elk Grove Development Services – Planning	
39.	Design and construct a signal at Bond Road and Crowell Drive/Quail Cove Drive to the satisfaction of Public Works. The through lanes from Quail Cove Drive shall align to the satisfaction of Public Works with the future Crowell Drive. This may require Quail Cove Drive to be configured.	Prior to approval of Improvement Plans	City of Elk Grove Development Services – Public Works	
40.	If the project is to be phased, the Applicant shall submit a phasing plan for Public Works review and approval, prior to the 1 st improvement plan submittal.	Prior to 1 st Improvement Plans Submittal	City of Elk Grove Development Services – Public Works	
41.	Plans for all the proposed and required improvements shall meet the standards and	Prior to approval of	City of Elk Grove Development	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	policies of the City of Elk Grove. Improvement plans include signal and landscape plans, and submittals and reviews shall be concurrent.	Improvement Plans	Services – Public Works	
42.	Install stop signs on: <ul style="list-style-type: none"> • Neponset Drive (at Crowell Drive) – all way • 'C' Street (at Crowell Drive) • 'A' Street (at Neponset Drive) • 'A' Street at the entrance of existing subdivision (2-way stop). 	Prior to issuance of Improvement Plans or recordation of Final Map, whichever occurs first	City of Elk Grove Development Services – Public Works	
43.	The project shall comply with the City of Elk Grove's Land Grading and Erosion Control Ordinances.	Prior to issuance of the Improvement Plans/Grading Permit	City of Elk Grove Development Services – Public Works	
44.	Where the option to pay fees in-lieu of improvements is approved by Public Works, payment shall be made prior to approval of the improvement plans or approval of the final map, whichever occurs first.	Prior to issuance of Improvement Plans or recordation of Final Map, whichever occurs first	City of Elk Grove Development Services – Public Works	
45.	Prior to approval of Improvement Plans, the project must demonstrate the following items to the satisfaction of the Elk Grove Water Service: <ol style="list-style-type: none"> a. When available, the applicant shall use non-potable water during construction and grading; b. Destroy all abandoned wells on the project site in accordance with the requirements of the Sacramento County Environmental Health Division. Clearly show all abandoned wells on the improvement plans for the project. Prior to abandoning any existing agricultural wells, the applicant shall use water from agricultural wells for grading and construction. 	Prior to Final Map	EGWS	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
46.	Prior to approval of a grading permit and the removal of any tree, the health and condition shall be re-assessed by the City's Arborist and the Applicant's Arborist to determine the feasibility of relocating any tree proposed to be removed. Only upon written acceptance and approval of the report of Public Works shall the recommendations of the assessment be implemented. Cost of relocation will not be considered a factor in the evaluation of any tree.	Prior to Final Map	City of Elk Grove Development Services – Public Works	
47.	The Applicant shall comply with the recommendations contained in the letter from the City's Arborist dated December 21, 2004, regarding the preservation of trees on-site.	Prior to Final Map	City of Elk Grove Development Services – Public Works	
48.	Prior to the final map, the project area shall annex into a Mello-Roos Community Facilities District (CFD) to fund a portion of the additional costs for police service related to serving the new development. The application fee for the annexation is due prior to the annexation being complete.	Prior to recording Final Map	City of Elk Grove Finance	
49.	Prior to the final map, the project area shall annex into Street Maintenance Assessment District #1 to fund a portion of the additional costs for long-term roadway maintenance related to serving the new development. The application fee for the annexation is due prior to the annexation being complete.	Prior to recording Final Map	City of Elk Grove Finance	
50.	The project shall pay all applicable City of Elk Grove administered development impact fees prior to building permit issuance.	Prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first	City of Elk Grove Finance	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
51.	Connection to the District's sewer system shall be provided to the satisfaction of CSD-1. Sacramento County Improvement Standards apply to sewer construction. Each lot shall have a separate connection to the CSD-1 sewer system.	Designed prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first; constructed prior to 1 st building permit	SRCSD and CSD - 1	
52.	CSD-1 may require an approved sewer study prior to approval of the Final Map or submittal of improvement plans for plan check to CSD-1, which ever comes first. The sewer study shall address all sanitary sewer issues related to the project and demonstrate how interim and ultimate service will be provided to the project. Preliminary analysis shows that the interim sanitary trunk sewer facilities available to serve this project are capacity constrained. The sewer study shall either demonstrate capacity or propose construction of new facilities to mitigate the project's impact on the existing system.	Prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first	SRCSD and CSD - 1	
53.	Sewer easements may be required. All sewer easements shall be dedicated to CSD-1, in a form approved by the District Engineer. All CSD-1 sewer easements shall be at least 20 feet in width and ensure continuous access for installation and maintenance.	Prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first	SRCSD and CSD - 1	
54.	Impact fees for CSD-1 shall be paid prior to the filing and recordation of the Final Map or issuance of building permits, whichever occurs first.	Prior to building plans, or the recordation of Final Map, whichever occurs first	SRCSD and CSD - 1	
55.	This project is required to connect to Elk Grove Water Service (EGWS) system at a minimum of two locations. A loop water system shall be installed. Off-site improvements shall be made with the	Design prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first;	EGWS	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>installation of water transmission mains prior to improvement plan approval.</p>	<p>constructed prior to 1st building permit</p>		
<p>56. The landscape corridor shall be constructed in accordance with plans and specifications approved by the City of Elk Grove. The Corridor shall include meandering or bifurcated sidewalks, subject to inspection and approval by the City. Any proposed deviation from City specifications requires approval in writing from Public Works</p>	<p>Prior to Recording Final Map</p>	<p>Elk Grove Development Services-- Public Works</p>	
<p>57. Prior to the recordation of the Final Subdivision Map, the owners of all real property within the boundaries of the project shall execute and deliver to the Elk Grove Community Services District a written petition in an acceptable form approved by the District consenting to: (i) the formation of the existing District Wide Assessment District and the methodology adopted to allocate the cost to the various land uses; (ii) when necessary the annexation to the appropriate zone of benefit created to fund urban services, (iii) the budget, formulas and cost of living indexes used to establish the amount of the annual assessments; and (iv) the levying of the annual assessment to fund the maintenance, operation and in some instances the existing capital costs of parks, parkways, corridors, medians, open space, trail systems lakes, creeks and other recreational and aesthetic amenities. All real property within the boundaries of the proposed project is within a benefit zone of the District Wide Landscape & Lighting Assessment District.</p>	<p>Prior to Recording Final Map</p>	<p>Elk Grove CSD – Parks and Recreation</p>	

<u>Conditions of Approval / Mitigation Measure</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
58.	Dedicate land or pay in lieu fees, or both, for park purposes, as required by and in accordance with the procedures and standards set forth in Chapter 22.40, Title 22 of the Elk Grove City Code.	Prior to Recordation of the Subdivision Map	Elk Grove CSD – Parks and Recreation	
59.	Provide utility stubs in to the park site for water, drainage, and sewer. Locations of all utility service points on all land to be dedicated or maintained by the Elk Grove CSD shall be approved by the EG/CSD.	Prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first	Elk Grove CSD – Parks and Recreation	
60.	The Applicant shall rough grade the park site pursuant to plans approved by the EG/CSD.	Prior to approval of improvement plans, or the recordation of Final Map, whichever occurs first	Elk Grove CSD – Parks and Recreation	
Prior to Building Permit/Occupancy				
61.	The Final Map shall be completed, approved and recorded prior to issuance of the first Building Permit.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services – Public Works	
62.	At all street intersections, public or private, within one block of the proposed project, applicant shall install and/or replace street name signs in accordance with the City of Elk Grove Standard Details.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services – Public Works	
63.	The project shall pay all applicable City of Elk Grove administered development impact fees prior to building permit issuance.	Prior to issuance of 1 st Building Permit	City of Elk Grove Finance	
64.	The Applicant shall submit Flood Elevation Certification for each structure or appropriate documents as determined by Public Works.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services – Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
65. At all street intersections, public or private, within one block of the proposed project, the Applicant shall install and/or replace street name signs in accordance with the City of Elk Grove Standard Details.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services – Public Works	
66. Landscaping shall be installed prior to the issuance of the first building permit within the subdivision. If weather prevents the installation at the time of first building permit, up to 25% of the building permits may be issued at staff discretion upon demonstration of a fully executed landscape contract for the work.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services – Public Works	
67. Landscape corridor walls on Bond Road shall be of masonry construction and shall provide sound attenuation as described in the Environmental Noise Analysis prepared by Brown-Buntin Associates, Inc. (BBA Project No. 03-203) dated March 6, 2003. Wall design and materials shall be subject to City of Elk Grove and CSD approval. Graffiti resistant materials shall be used.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services – Public Works	
68. All improvements shall be installed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to issuance of 1 st Building Permit	City of Elk Grove Development Services–Public Works	
69. All driveways shall require an encroachment permit. At that time the curb, gutter, sidewalk and all public improvements shall be evaluated to determine if those improvements need to be repaired/reconstructed	Prior to the issuance of any building permits	Development Services- Public Works	
70. For residential units that are not shielded by barriers and are proposed to be located within the 60dB L _{dn} noise contour, building facade noise reduction will be required to achieve an interior	Prior to the issuance of any building permits	Development Services - Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>noise level of 45 dB Ldn. Acoustical insulation, building materials, unit placement from the noise source and/or other construction techniques shall be incorporated into the building plans for these units to meet the thresholds for acceptable noise levels and compliance with the General Plan Noise Element.</p> <p>Monitoring Action</p> <ul style="list-style-type: none"> • Prior to the issuance of any building permits, the Applicant shall submit plans and details to Development Services, Planning that adequately describes the acoustical insulation, building materials, unit placement from the noise source and/or other construction techniques required to meet the thresholds for acceptable noise levels prior to residential occupancy. 			
<p>71. Connection to the District's sewer system shall be required to the satisfaction of CSD-1. Sacramento County Improvement Standards shall apply to sewer construction.</p>	<p>Prior to issuance of building permit</p>	<p>SRCS&D and CSD - 1</p>	
<p>72. The trunk and collector sewer system for the project will not be accepted for maintenance, and building occupancy will not be granted until the downstream sewer system serving the project is also accepted for maintenance.</p>	<p>Prior to issuance of building permit</p>	<p>SRCS&D and CSD - 1</p>	
<p>73. Any improvements, public or private, damaged in construction shall be replaced in-kind or with new improvement.</p>	<p>Prior to Occupancy</p>	<p>City of Elk Grove Development Services – Public Works</p>	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
74.	Residential structures shall be limited to single story on 50% or the lots adjacent to Bond Road. In addition, the following interior lots will be limited to single story, as numbered on the Tentative Map dated ; lots 65, 66, 67, 68, 69, 72 and lots 110 through 118.	Prior to issuance of building permit	City of Elk Grove Development Services – Planning and Building	
75.	The residential homes constructed on the lots which front Crowell Drive and the all lots east of Crowell Drive, with the exception of "E" Court (per the Tentative Map) will be the same design and garage configuration as the homes built in Arcadian Village No. 3 by Meritage Homes, subject to conformance with the City of Elk Grove design guidelines and Design Review. Should a builder other than Meritage become the developer of these lots, then the home design shall be subject to review and approval by the Elk Grove Planning Commission.	Prior to issuance of building permit	City of Elk Grove Development Services – Planning and Building	

General Compliance Items for Building Permit

1. Prior to issuance of building permits, the project developer/owner shall pay Zone 40 development fees applicable at the time of building permit issuance in accordance with Sacramento County Water Agency Ordinance No. 18. (Water Supply)
2. Prior to issuance of building permits, the project shall conform to the specific provisions of the City's Landscape Water Conservation Ordinance (Chapter 14.10 of the City of Elk Grove Code) to the satisfaction of the City's plan checker or consultant. (Water Supply)
3. Secure approval of a civil engineered site improvement plan for all proposed on-site and off-site improvements.
4. Permits and/or fees are required for the following reviews: civil plans, architectural plans, fire sprinkler plans and fire alarm plans. Additional permits and fees may apply depending upon the scope of the project.
7. Dead-end streets in excess of 150 feet require emergency vehicle turn-a-rounds.
8. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code.
9. If homes exceeding 3,600 square feet (including garages and covered porches) will be built in this subdivision, additional fire flow analysis of the water system must be conducted. Single family dwellings 3,601 square feet to 4,800 square feet require 1,750 gpm and homes 4,801 square feet to 6,200 square feet require 2,000 gpm.
10. An approved automatic fire sprinkler system shall be installed within all new R-3 occupancies when the total floor area (area under roof including garages and attached solid roof canopies) exceeds 5,999 square feet and/or the total livable area (area not including garages and attached solid roof canopies) exceeds 4, 999 square feet.
11. As of February 1, 2003, all contractors for single-family homes and duplexes (R-3 Occupancies) shall provide an option for residential fire sprinklers. Prior to the prospective buyer signing a sales contract, the contractor or their agent shall obtain from the Fire Department an informational packet containing educational materials approved by the Fire Department, including a form explaining the option for residential sprinklers. The contractor or their agent shall provide the approved informational packet to any and all prospective buyers and require the execution of a signed receipt for the educational material from the prospective buyer. The contractor shall install residential fire sprinklers upon the request and execution of a purchase agreement by the homebuyer. Fire sprinkler systems for single-family homes and duplexes shall be designed and installed to not less than the minimum requirements contained in NFPA 13D, 1996 edition.
12. All civil engineering plans are required to be submitted in an electronic format. When plan is ready for final signature, it is required that the engineering firm will submit an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. Electronic formats can be submitted in either of the following data transfer formats listed below:

DFX (Drawing Interchange file) release 2002 or previous
DWG (Applies to AUOCAD drawing file) release 2002 or previous

13. Addresses for all lots shall be provided to the Fire Department within sixty (60) days of Fire Department signature of approval for development plans.
14. No more than 40 building permits shall be issued when a single point of access exists for a subdivision. Since there is no process in place for confirming the sequence in which the units are built, the above information should be considered and the Elk Grove CSD Fire Department should be consulted on this matter.
15. All commercial buildings, in excess of 3,599 square feet shall be equipped with an approved automatic fire sprinkler system.
16. Commercial developments in excess of 10,000 square feet require looped fire mains of a minimum of ten- (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals. This on-site fire main shall be connected to the municipal water main at not less than two (2) points.
17. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure and 1,000 GPM at 20 PSI residual pressure in residential, single-family home areas. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum.
18. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 15 % for concrete. The roadways shall be constructed to a 20-foot minimum width with a minimum of three (3) inches AC over six (6) inches AB with good drainage.
19. Traffic pre-emption devices of a type approved by the Elk Grove Fire Department, shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Elk Grove Fire Department.
20. Required fire alarm systems (other than single family dwellings) shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center.
21. Permits and/or fees are required for the following plan reviews: site plan, architectural plan, fire sprinkler plan, fire alarm plan, and special extinguishing plans.
22. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Elk Grove Fire Department and the water purveyor having jurisdiction.
23. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls, tree wells, and/or traffic calming devices are subject to standards outlined by the Elk Grove Fire Department.
24. The wetlands/riparian corridors of creeks create an unusual fire hazard and challenge to emergency responders. The following requirements apply:

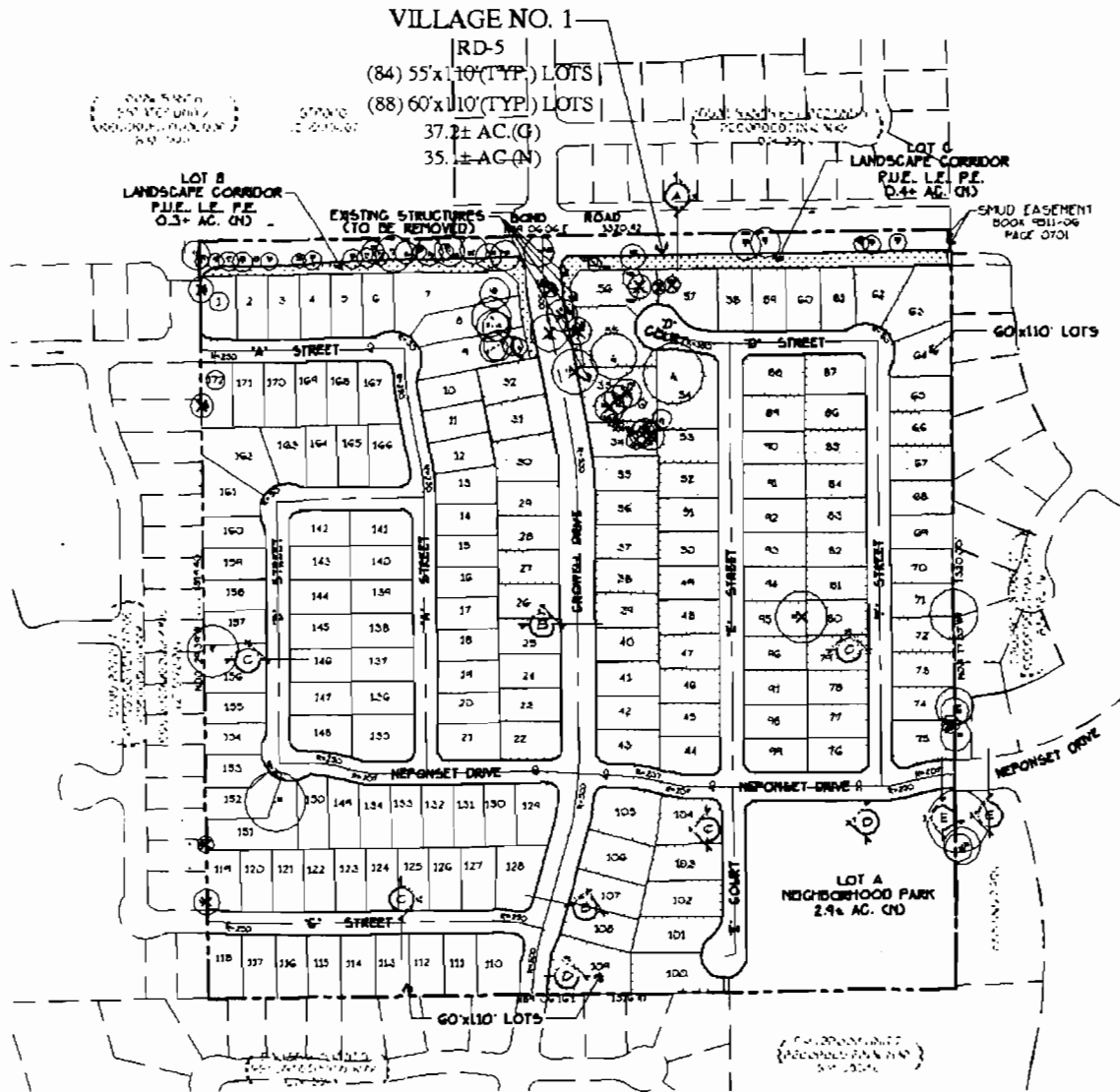
- A. Provide non-combustible fences along all developed areas adjacent to wetlands, creeks, or open spaces.
- B. Provide access to all wetland corridors at the end of cul-de-sacs via rolled curbs and gates with pipe bollards. Bike lanes adjacent to creeks shall be a minimum of 10 feet wide with a turning radius of not less than 35 feet inside and 45 feet outside diameters.
- C. Any bridges over creeks or wetland areas shall be capable of supporting 65,000 GVW.
- D. Provide at least ten (10) feet of greenbelt or other defensible space between non-combustible fences and the creek/wetlands area.

General Advisories

Trunk sewer design and construction may be reimbursed by CSD-1 under the terms of a Reimbursement Agreement. Collector sewer design and construction may qualify for reimbursement under the terms of a Participation Agreement. Prior to initiating design of any sewer facility, contact CSD-1 for details. It will be necessary to schedule a meeting to discuss reimbursement requirements with appropriate CSD-1 staff prior to any design. Failure to strictly comply with the provisions of the CSD-1 Ordinances may jeopardize all sewer reimbursement.

Developing this property may require the payment of additional sewer impact fees. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information.

EXHIBIT B
Tentative Subdivision Map




**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2005-109**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

I, Peggy E. Jackson, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on the 27th day of April 2005 by the following vote:

- AYES:** **COUNCILMEMBERS:** **Scherman, Briggs, Cooper, Leary**
- NOES:** **COUNCILMEMBERS:** **Soares**
- ABSTAIN:** **COUNCILMEMBERS:**
- ABSENT:** **COUNCILMEMBERS:**





**Peggy E. Jackson, City Clerk
City of Elk Grove, California**